



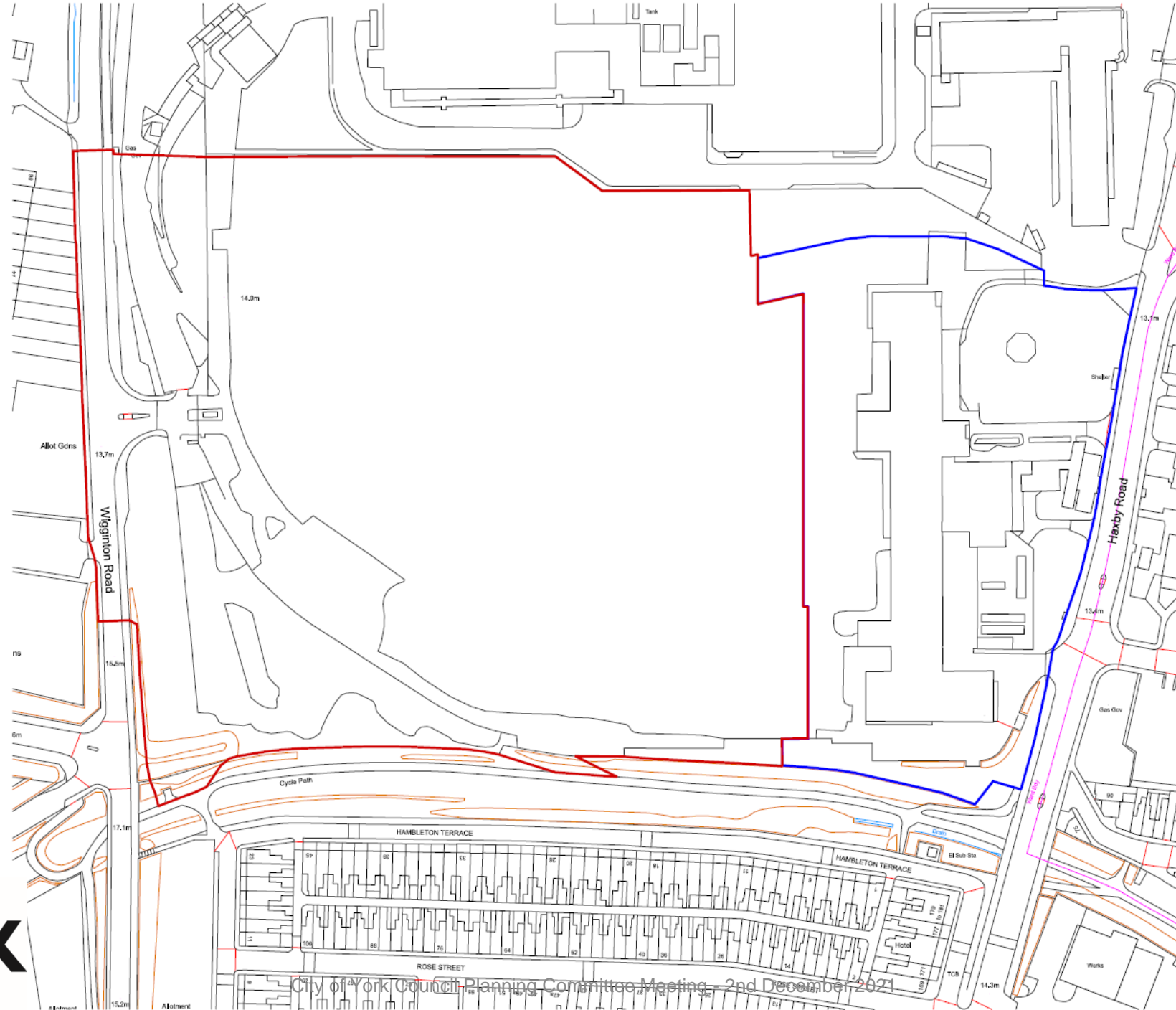
# Planning Committee

To be held on Thursday 2<sup>nd</sup> December 2021

# 21/01371/FULM - Land At Cocoa West, Wigginton Road, York

Demolition of gatehouse and erection of up to 302 dwellings (Use Class C3), creche (Use Class E) and associated access, car parking, public open space, landscaping, associated infrastructure and drainage, and other associated works.

# Site Location Plan



Notes  
 Do not scale from this drawing.  
 All contractors must visit the site and be responsible for taking and checking dimensions.  
 All construction information should be taken from figured dimensions only. Any discrepancies between drawings, used boundaries and site conditions must be brought to the attention of the supervising officer.  
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Rev	Date	Description	Drawn	Check
P1	05/04/21	Planning Submission	LS	AD

Drawing Status  
**Planning**



Project  
**Cocoa West, York**

Drawing Title  
**Site Location Plan**

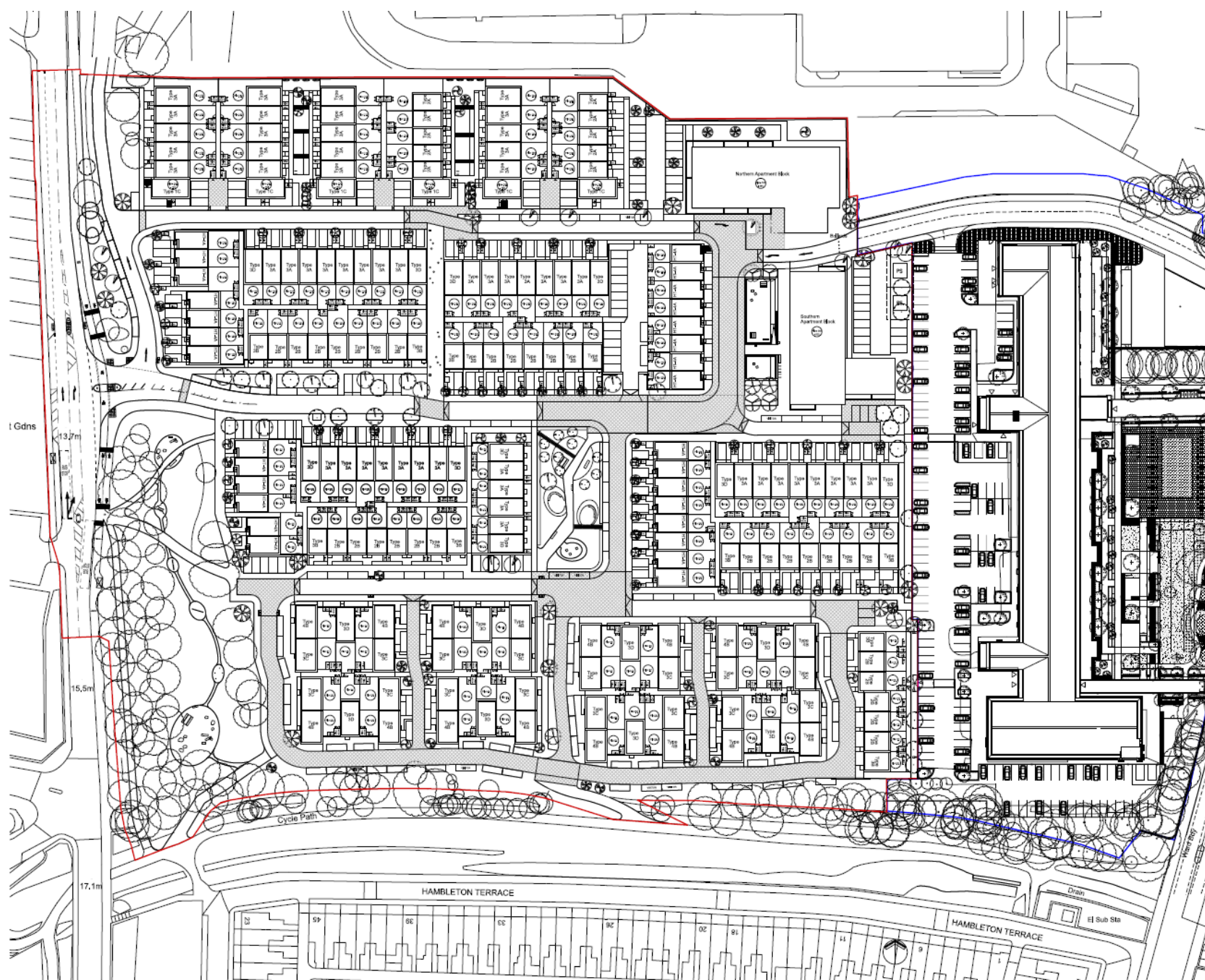
Sheet Code: DN0092/JTP2222016/A001  
 Scale @ A3: 1:1250 Job Ref: 01829  
 Drawing No: 0001 Revision: 01  
 Scale Bar: 0 10 20 30m



Aerial View (2017)



# Masterplan



All contractors must hold the site and be responsible for safety and checking of drawings.  
 All contractors must hold the site and be responsible for safety and checking of drawings.  
 Any discrepancies between drawings, notes and site conditions must be brought to the attention of the responsible officer.  
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 All dimensions are in metres unless otherwise stated.  
 For any further information, please contact the responsible officer.

TO BE READ IN CONJUNCTION WITH LANDSCAPE ARCHITECT'S DRAWINGS  
 FOR DETAILS OF SURFACE MATERIALS, SOFTWARES AND STREET FURNITURE REFER TO DRAWINGS: 201572\_L200 TO 201572\_L203 AND LEGEND SHEET 201572\_L204  
 FOR DETAILS OF BOUNDARY TREATMENTS AND ACCESS GATES REFER TO DRAWINGS: 201572\_L102 TO 201572\_L105

PS	10/1/21	Final & Sign-off drawings, after review for BMS	ADD	PS
PA	10/1/21	Final construction drawings to CQC comments	ADD	PS
PI	10/1/21	Final construction drawings to CQC comments	ADD	PS
PL	10/1/21	General arrangements to CQC comments	ADD	AD
PL	10/1/21	Working drawings	LA	AD

No.	Date	Description	Drawn	Check

## Planning



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 Unit 5, The Run Warehouse  
 Parkington Street  
 London, E20 2AP  
 Tel: (020) 7017 1780  
 www.jtp.co.uk

Project  
**Cocoa West, York**

## Masterplan

Sheet Code: D201926/TP/2022/25/04/009  
 Scale @ A1: 1:500 Job Ref: 01820  
 Drawing No. 0030 Revision: 05  
 Scale Bar: 0m 10m 20m



# North Apartment Building – Typical Elevation

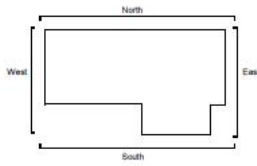


3D Perspective  
NTS

**Notes**  
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Drawing to be read in conjunction with  
DN0062-JTP-NB-ZZ-D1-A-0701

**Key Plan**  
NTS



**Material Key**

- 1 - Light Red Brick
- 2 - Red Brick
- 3 - White HT and Mass Brick
- 4 - White Brick
- 5 - Concrete Lintel & Cill Detail
- 6 - Balconies - Bronze RAL colour tbc
- 7 - Window Frame - Bronze, RAL colour tbc
- 8 - Louvre to Plant - Bronze, RAL colour tbc
- 9 - Edge Railing - Bronze, RAL colour tbc
- 10 - Parapet Capping - Bronze, RAL colour tbc
- 11 - Glazed Curtain Wall Entrance - Bronze, RAL colour tbc
- 12 - Apartment Front Door - Pastel Shades, RAL colour tbc
- 13 - Ancillary External Doors - Bronze, RAL colour tbc
- 14 - Fascia Panel - Bronze, RAL colour tbc
- 15 - Columns - colour tbc

PO	22.10.21	Control & apartment layouts amended to suit	EH	LP
PO	08.06.21	MEP Information & Fire Strategy	EH	AC
PO	10.06.21	Decisions noted for re-submission	LP	DG
Rev	Date	Description	Drawn	Checked

Comments



Project  
**Cocoa West - Northern Apartment Block**

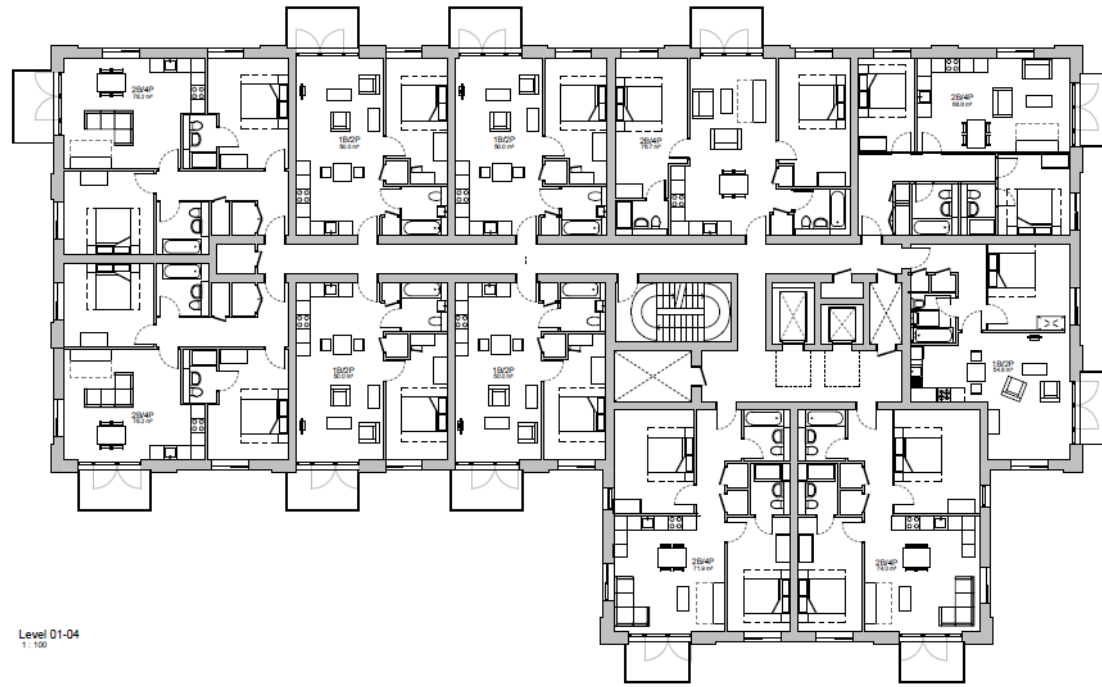
Drawing Title  
**GA Elevations (2of2)**

Scale	@A1 As Indicated	Job Ref	D1820
Drawing No.	0702	Revision	PO3
Scale Bar	0 1 2 3 4 5 m		

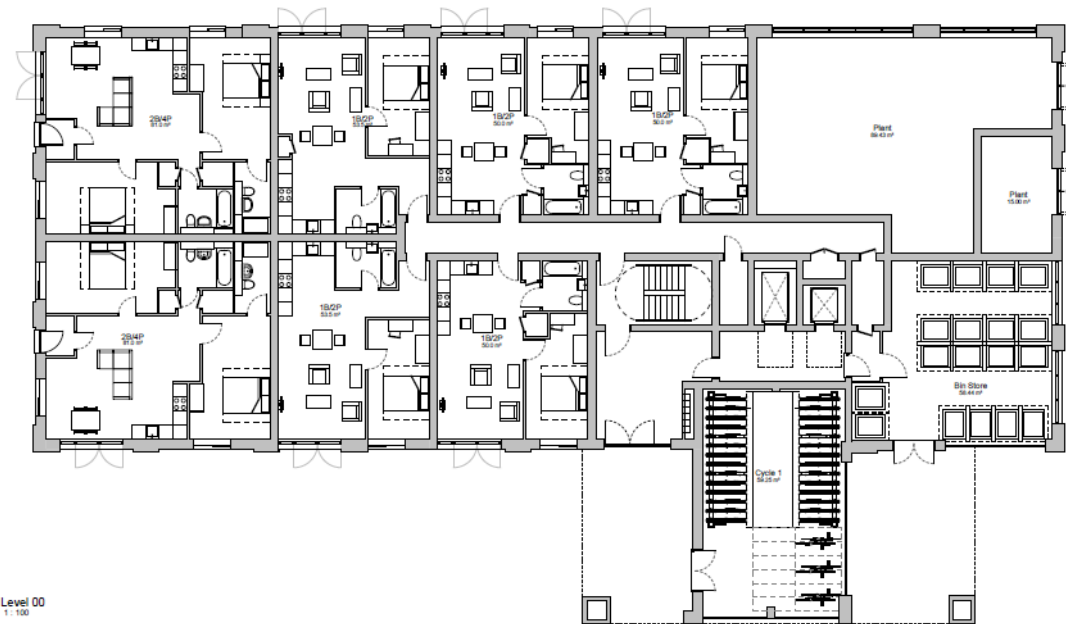
Sheet Code  
DN0062-JTP-NB-ZZ-D1-A-0702



# North Apartment Building – Typical Floor Plan



Level 01-04  
1:100



Level 00  
1:100

City of York Council Planning Committee Meeting - 2nd December 2021



**Note**  
Do not scale from this drawing.  
All dimensions must relate to the site and be responsible for taking and checking dimensions.  
All construction information should be taken from agreed dimensions only.  
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Drawing to be read in conjunction with  
DN0002-ITP-NB-ZZ-DR-A-0602

PO3	22.10.21	Corridor & apartment layouts amended to suit MSP information & Fire Strategy	EH	LP
PO2	09.08.21	Underground parking removed. Ground floor services and apartments reconfigured - 3 additional apartments added within existing building footprint	SACJ	AD
PO1	10.06.21	Planting layout	EH	DO

Rev	Date	Description	Drawn	Checked
Drawing Status				

Comments

Client



Project  
**Cocoa West - Northern Apartment Block**

Drawing Title  
**GA Plans (1of2)**

Scale @A1 1 : 100 Job Ref: 01820  
Drawing No: 0601 Revision: PO3

Scale Bar  
0 1 2 3 4 5 m

Sheet Code  
DN0002-ITP-NB-ZZ-DR-A-0601

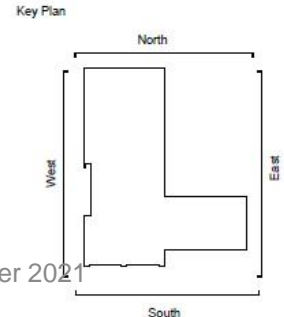
# South Apartment Building – Typical Elevation

**Notes**  
 Do not scale from this drawing.  
 All construction must call the site and be responsible for taking and checking dimensions.  
 All construction information should be taken from figured dimensions only.  
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North Elevation  
1:100

West Elevation  
1:100



- Material Key**
- 1 - Light Red Brick
  - 2 - Red Brick
  - 3 - Red Hit and Miss Brick
  - 4 - White Brick
  - 5 - White Brick Banding Detail
  - 6 - Balconies - Bronze RAL colour fbc
  - 7 - Window Frame - Bronze, RAL colour fbc
  - 8 - Louvre to Plant - Bronze, RAL colour fbc
  - 9 - Edge Railing - Bronze, RAL colour fbc
  - 10 - Parapet Capping - Bronze, RAL colour fbc
  - 11 - Glazed Curtain Wall Entrance - Bronze, RAL colour fbc
  - 12 - Apartment Front Door - Pastel Shades, RAL colour fbc
  - 13 - Ancillary External Doors - Bronze, RAL colour fbc
  - 14 - Fascia Panel - Bronze, RAL colour fbc

POD	08.08.21	Drawings revised for resubmission	OG	AD
POI	10.06.21	Planning Issues	OG	LP
Rev	Date	Description	Drawn	Check
Drawing Status				
Planning				



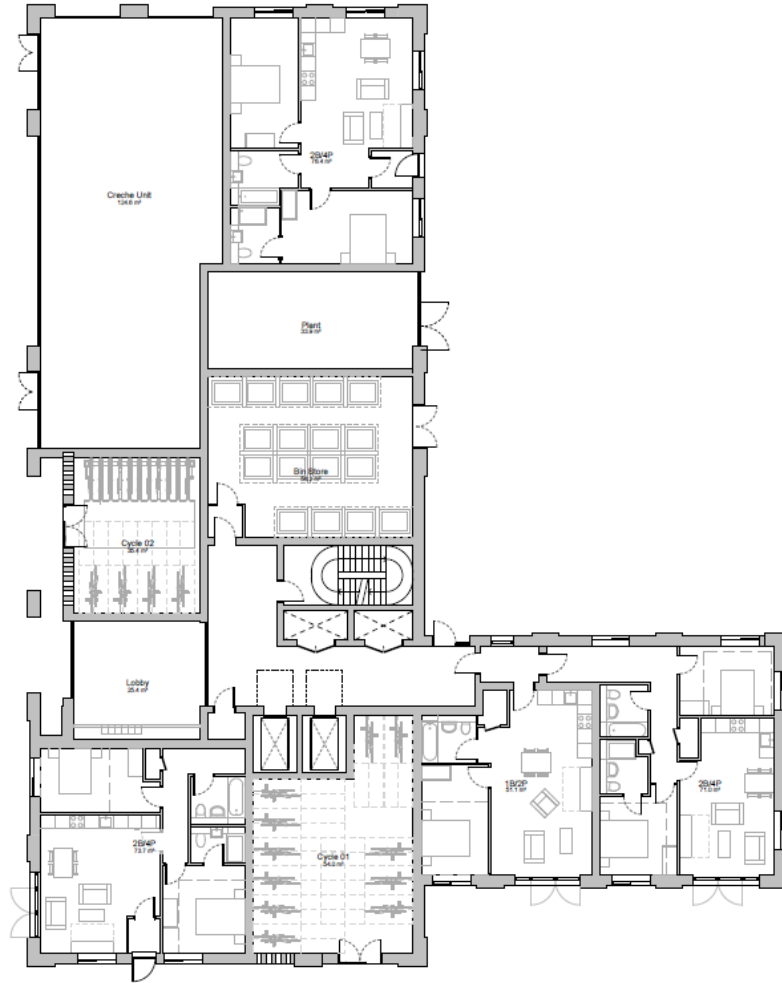
Project  
**Cocoa West - Southern Apartment Block**

Drawing Title  
**GA Elevations (2of2)**

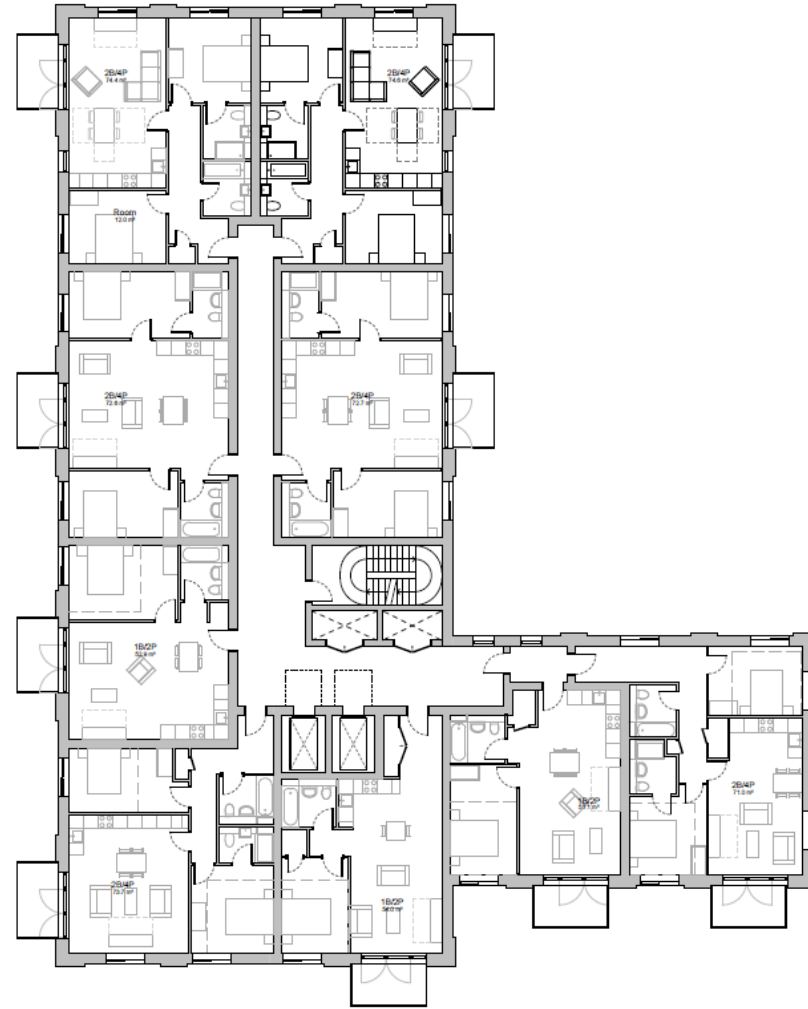
Scale @A1	As Indicated	Job Ref.	01820
Drawing No.	0702	Revision	PO2
Scale Bar	0 1 2 3 4 5 m		
Sheet Code	DN0002-JTP-SB-22-DR-A-0702		



# South Apartment Building – Typical Floor Plan



Level 00



Level 01-04

**Notes**  
 Do not scale from this drawing.  
 All contractors must visit the site and be responsible for taking and checking dimensions.  
 All construction information should be taken from figured dimensions only. Any discrepancies between drawings, specifications and site conditions must be brought to the attention of the supervising officer.  
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PO2	09.06.21	General arrangement revised to accommodate structural changes	GG	AD
PO1	10.06.21	Planning issue	GG	LF
Rev	Date	Description	Drawn	Check
Drawing Status				
Planning				
Client				



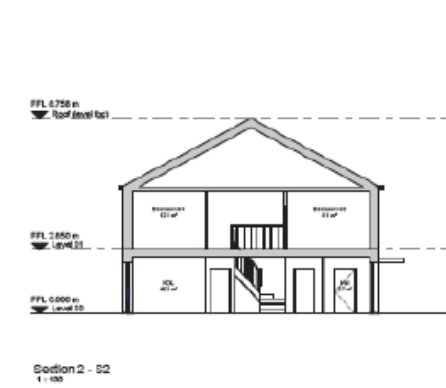
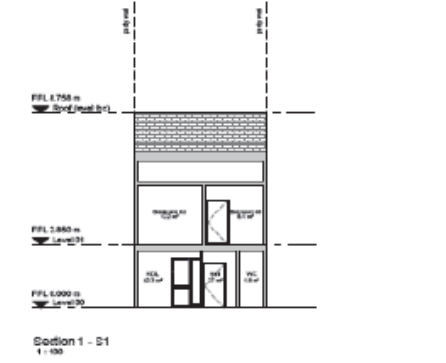
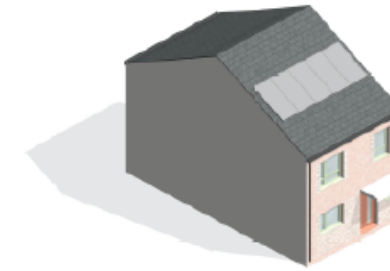
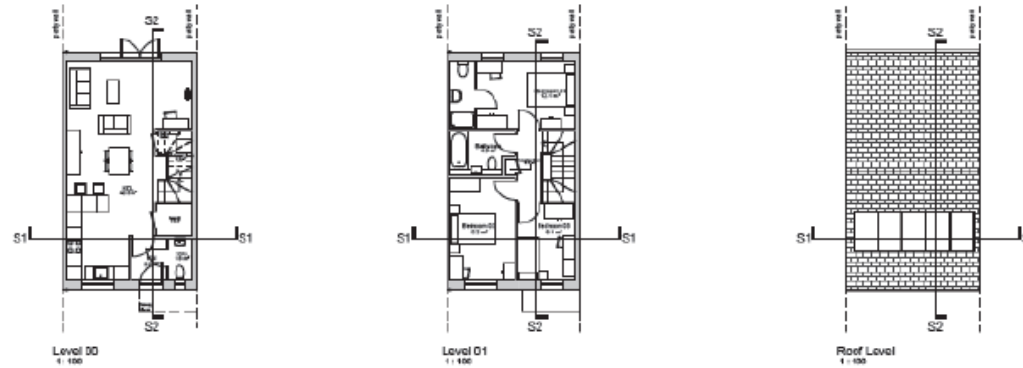
Project  
**Cocoa West - Southern Apartment Block**

Drawing Title  
**GA Plans (1of2)**

Scale @A1	1 : 100	Job Ref.	D1620
Drawing No.	CG01	Revision	PO2
Scale Bar	0 1 2 3 4 5 m		
Sheet Code	DN0002-TP-SB-ZZ-DR-A-001		



# Housetype Plan



**NOTE**  
Do not scale from this drawing.  
All variations must first be discussed and agreeable to subsequent checking arrangements.  
An information sheet will be issued before final decisions are made.  
An agreement between design, specification and site conditions must be reached in the absence of the responsible officer.  
This drawing is the work prepared on the receipt of FFP.

This drawing is prepared for the specified ground levels in the Drawing Title. Access routes should be considered in all cases for any other proposed access routes which may be required. The drawing is not intended to be used for liability for any other proposed access routes. The drawing is not intended to be used for liability for any other proposed access routes.

**Plots 16, 18, 22, 24, 26, 28, 95, 97, 99, 101, 121, 123, 125, 127, 147, 149, 151, 153, 155, 157, 159, 163, 165, 168, 171, 173, 183, 185, and 167 are handed units.**

**\*Light Red Brick -**  
Plots 123, 153, 156, 137, 138, 159, 162, 163, 164, 165, 166, 168, 170, 171, 172, 173, 183, 184, 185, 186, 187

**\*\*Buff Brick -**  
Plots 22, 23, 24, 25, 26, 27, 28, 95, 96, 97, 98, 99, 100, 101, 102, 121, 122, 124, 125, 126, 127, 128, 147, 148, 149, 150, 151, 152, 163

- Material Key**
- 1 - Light Red Brick\*
  - 2 - Buff Brick\*\*
  - 3 - Grey Gutter with Square Profile
  - 4 - Grey Rain Water Pipe (rwp) with Square Profile
  - 5 - White metal canopy
  - 6 - Window Frame - Pale Green - RAL colour TBC
  - 7 - Front Door - Painted - RAL colour TBC
  - 8 - Glass Patio Doors - Pale Green - RAL colour TBC
  - 9 - White Brick Detail
  - 10 - Gable End Roof Tiles

**Garage Schedule**

Name	Area
G/A - 00	49.0 m <sup>2</sup>
G/A - 01	49.5 m <sup>2</sup>
Total	98.5 m <sup>2</sup>

**Storage Schedule**

Name	Area
Store 01	2.0 m <sup>2</sup>
Linen/Storage Store	0.5 m <sup>2</sup>
Laundry Store	0.3 m <sup>2</sup>
Total	2.8 m <sup>2</sup>

AGS storage requirements (AGS) - 2.5m<sup>2</sup>

Rev	Date	Description	Drawn	Check
01		ISSUED FOR PERMITTING		



**jtp**  
The Joint Planning Team  
Paragon House  
100-102  
www.jtp.co.uk

**Cocoa West**

**HT\_3A - Plans Sections Elevations**

Scale: 1:100	Rev: 01/2020
Drawing No: 0030	Project: PD1
Sheet Code: DN080-JTP-2225-D8-A-0135	



HOUSE TYPE 3A PROPOSED IN NORTH SECTION OF SITE

City of York Council Planning Committee Meeting - 2nd December 2021

# Site Sections (1)



Section D-D  
Northern Street



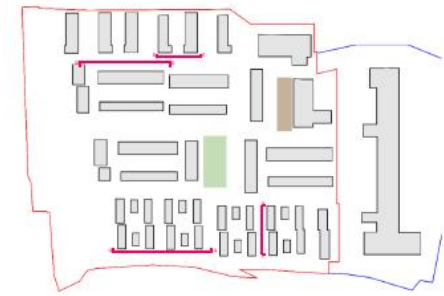
Section E-E  
Northern Groves



Section F-F  
Southern Mews



Section G-G  
Southern Mews



**Notes**  
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PR 2021/25	Demolition and new development	DRN AD
PL 2021/21	Planning Applications	LS AD

Rev | Date | Description | Drawn | Check

Drawing Status

Planning



Project  
Cocoa West, York

Drawn by  
Proposed Site Sections

Sheet Code: DM0090-11P-25-26-27-28-29-30-31

Scale: 1:1000 JTP Ref: 01820

Drawing No: 0204 Revision: P2

Scale bar and north arrow.

# Site Sections (2)



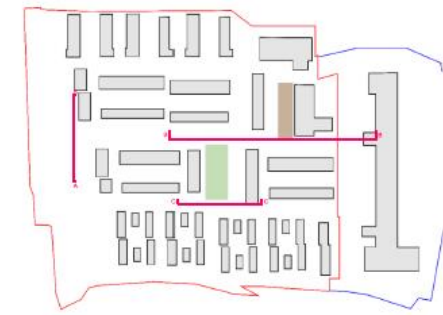
Section A-A  
Wigginton Road Arrival



Section B-B  
Main Street



Section C-C  
Neighbourhood Green



**Notes**

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PR	20/11/21	Some building information omitted.	DMA	AD
PI	16/05/21	Planning Committee	LS	AD

Rev	Date	Description	Drawn	Checked
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Drawing Status: **Planning**

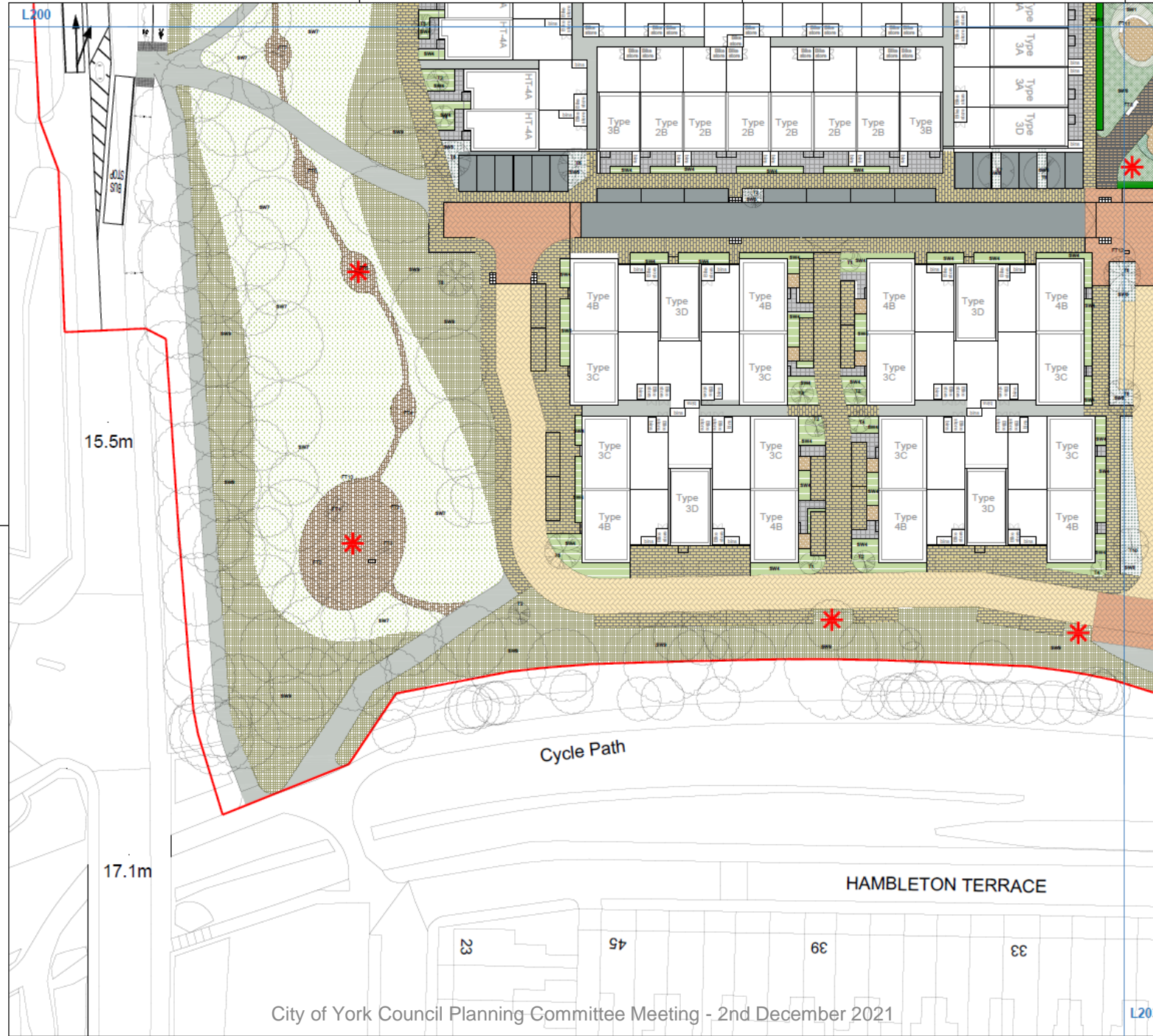


Project: **Cocoa West, York**

Drawing Title: **Proposed Site Sections**

Sheet Code: DM2021/174/25/2021/0003  
 Scale: A1 1:200 Job Ref: 01820  
 Drawing No: 0003 Revision: P2  
 Scale Bar: 0 10 20 30 40 50 60 70 80 90 100m

# Example of Public Realm and Landscape



REFER TO L204 FOR LEGEND



**NOTES**

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- Do not scale off this drawing. Written dimensions to be taken only.
- Any discrepancies found between this drawing and other drawings and specifications in the construction documents must be referred to the Landscape Architect prior to work commencing.
- This drawing must not be copied in whole or in part without prior written consent of Optimised Environments Ltd.

**DRAWING INFORMATION BASED UPON**

**COM INFORMATION**

**KEY PLAN**

**REVISIONS**

No	Description	Author	Date
1	Issue for Planning	AMW	22/11/21
2	Issue for Planning	AMW	22/11/21
3	Issue for Planning	AMW	22/11/21
4	Issue for Planning	AMW	22/11/21
5	Issue for Planning	AMW	22/11/21
6	Issue for Planning	AMW	22/11/21

**open**  
optimised environments ltd

Unit 1, Wadhwa Way, York, YO1 1AA  
01904 474444

**Client**  
Latimer Developments Limited

**Project**  
COCOA WEST  
York

**Drawing Title**  
GENERAL ARRANGEMENT  
PAGE 3 OF 4

**Scale Bar**  
0 2.5m 5.0m 7.5m 10m 12.5m

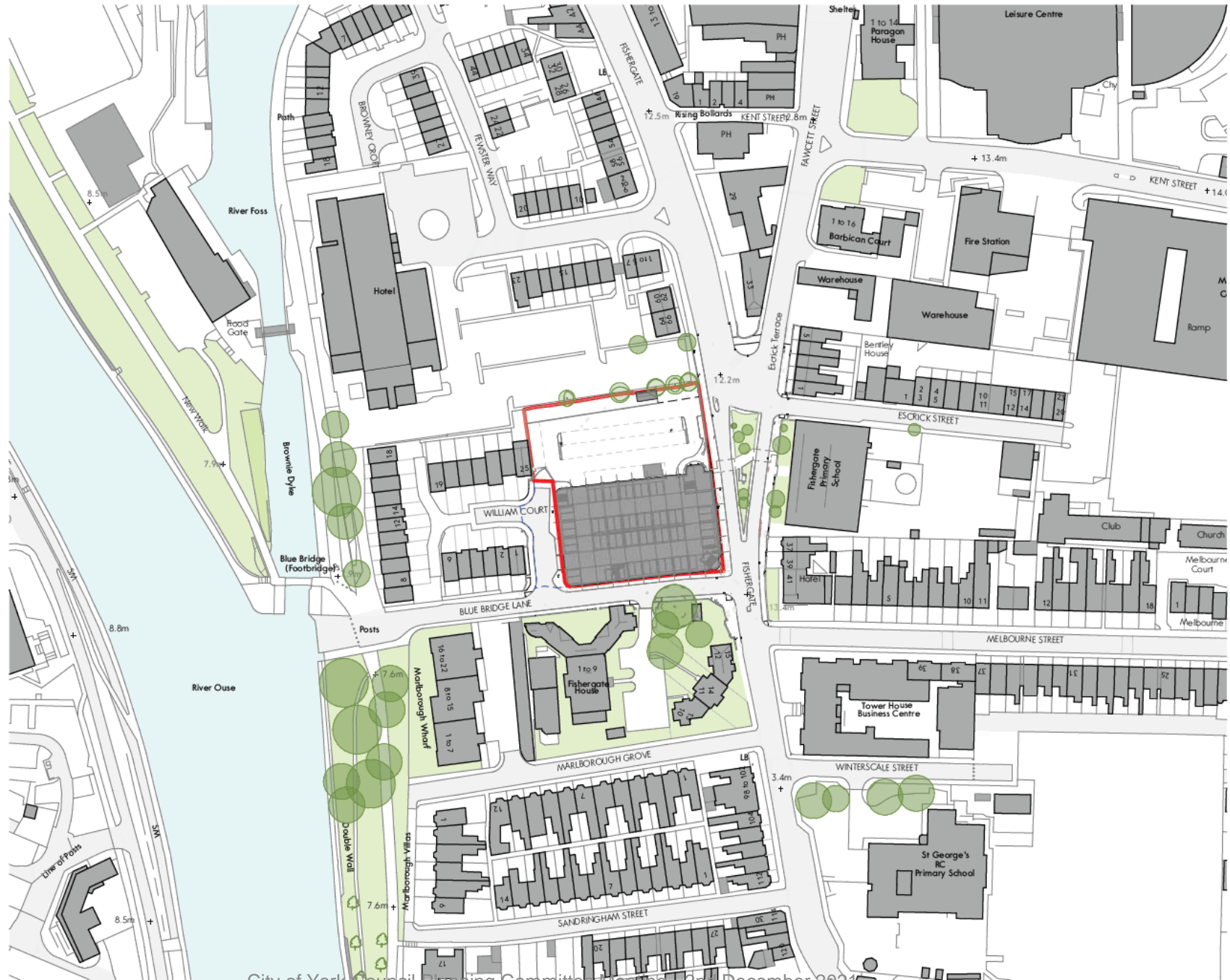
**Scale:** 1:250@A1 **Date:** 31.03.21  
**By:** CO **Status:** PLANNING  
**Checked:** AMW **Approved:** AMW

**Drawing Number:** 201572\_L202 **Rev:** 6

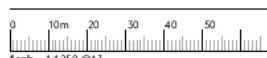
# 21/01605/FULM - Mecca Bingo, 68 Fishergate, York

Demolition of existing buildings and redevelopment of the site to form 275no. room purpose built student accommodation with associated car parking, landscaping and facilities

# Site Location Plan



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Rev	Date	Comment	Dr	Ch
PA02	23.06.21	Revised to comments	DE	DT
PA01	18.06.21	Final Issue	DE	DT



CHARTERED ARCHITECTS  
REGISTERED DESIGNERS  
REGISTERED PLANNERS  
REGISTERED LANDSCAPE ARCHITECTS

Red Lion House, 117-119, Leazes Road, Leeds LS2 9PZ  
+44(0)113 266 0066(1) +44(0)113 266 1808  
architects@gwp-arch.co.uk | www.gwp-arch.com

Job Title: (45)12101  
Rialto House, Fishergate, York

Client: OLYMPIAN

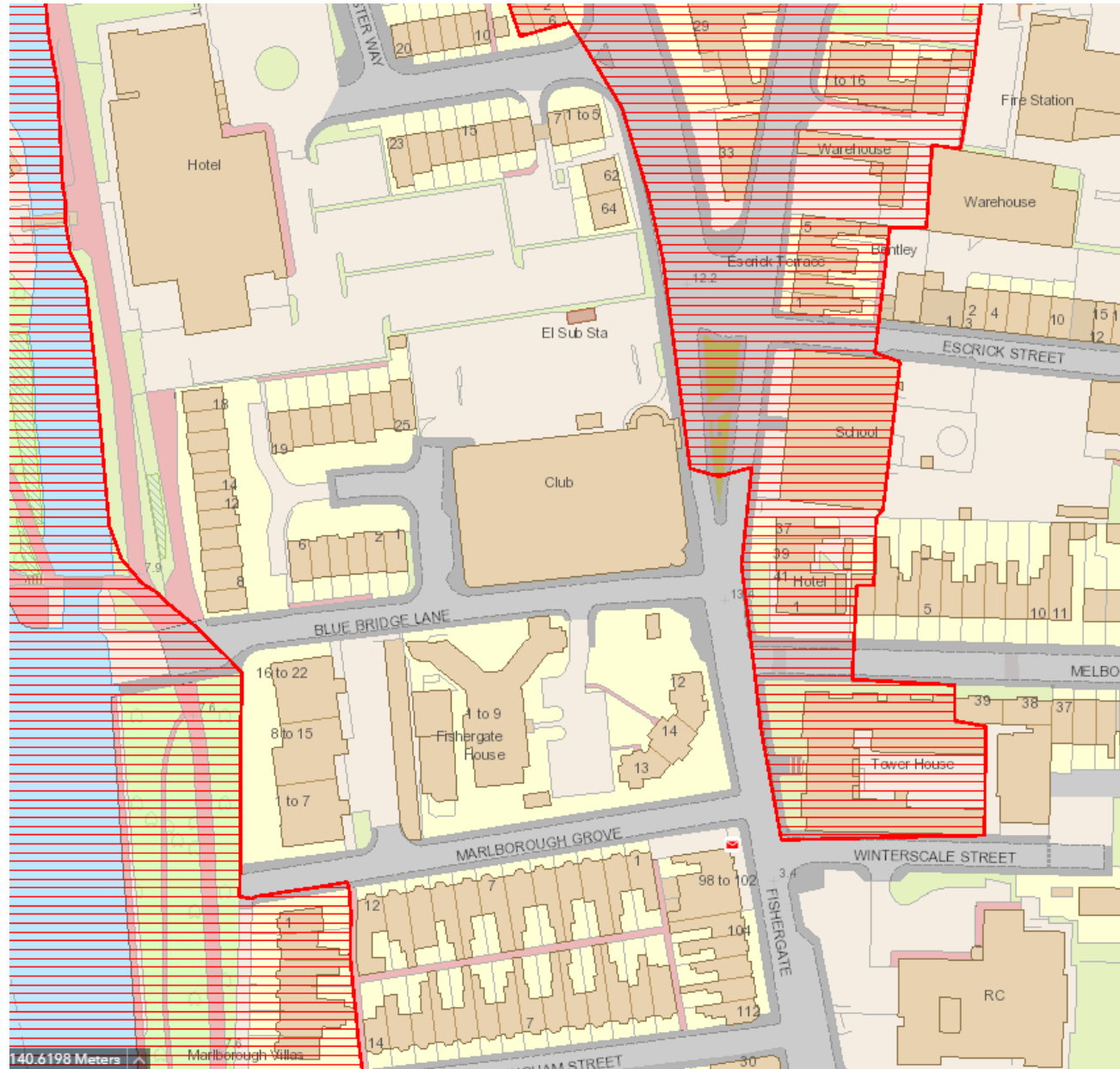
Location Plan

Name	2101-GWP-01-XX-DR-A-(PA)-0001
Scale	1:1250@A3
Revision	PA02
Drawn/Checked	DE/DT
Final Issue	18.06.21

Drawing Status: D - Planning



# Illustration of surrounding Conservation Areas





Blue Bridge Lane



Rear Elevation Facing South/William Court



Front, Side and Rear of 25 William Court



# Proposed Elevations – North and West



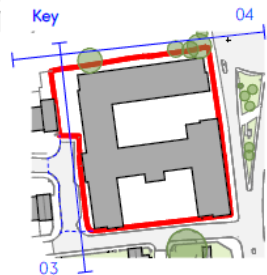
ELEVATION 03 - From William Court, Looking East



ELEVATION 04 - From Novotel Carpark, Looking South

### Materials Key

1. Light red multi-brick
2. Dark red multi-brick
3. Brass spandrel panel
4. Setback brick panel reveal detail
5. High performance PPC Aluminium window units, double glazed. External colour to match brass spandrel panel, RAL TBC (white internally).
6. Horizontal louvre. RAL TBC.
7. Standing seam zinc roof. RAL TBC.
8. Vertical metal railing. RAL TBC.
9. Feature horizontal band, Brick Soldier Course and recessed brick band.
10. Steel louvre external door. Colour to match windows, RAL TBC.
11. Feature brick chimney. Brick type 1 / 2 as per elevation.
12. Standing seam zinc to lift overrun. Colour to match roof, RAL TBC.
13. Potential location for Public Art. Details TBC.



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All drawings and specifications should be read in conjunction with the project brief and any other documents that may be provided to the Planning Authority.

All work to be carried out in accordance with current Building Regulations.

Contractors must verify all dimensions on the job before commencing any work or making shop drawings.

Where dimensions should be taken. Do not scale off drawings. Do not make slight dimensions from the drawing.

Any discrepancies should be reported to the Architect.

0 1m 5m 10m  
Scale - 1:200 @A3

City of York Council Planning Committee Meeting - 2nd December 2021

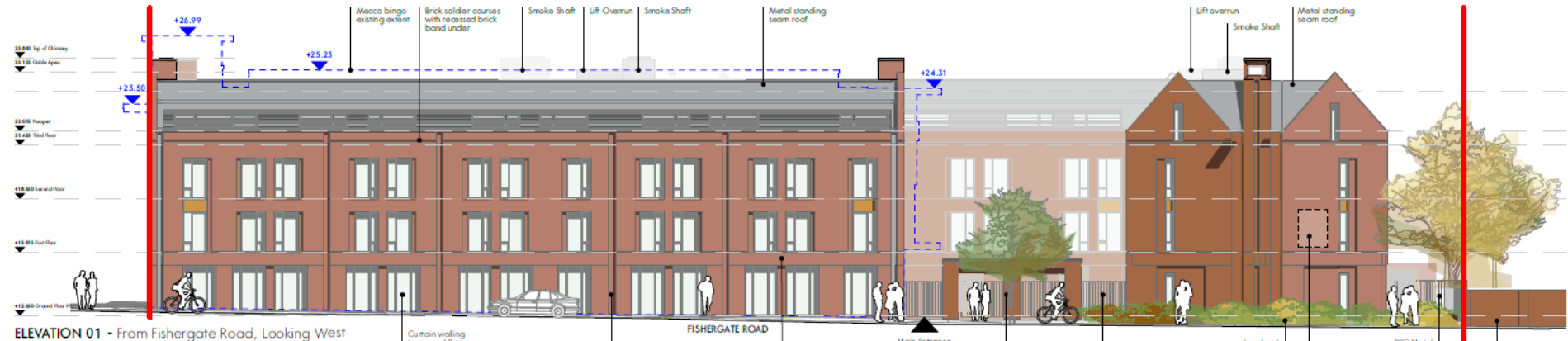
Rev	Date	Comment	Dr	Ch
PA11	22.11.21	Revised to comments.	CT	DT
PA10	05.11.21	Update to metal railing	CT	DT
PA09	04.11.21	Update to metal railing	CT	DT
PA08	05.10.21	Minor graphical amendments	DE	DT
PA07	28.09.21	Revised to comments regarding external door. Substation Amended	DE	DT
PA06	18.08.21	Revised to comments received from Fire Engineer	DE	DT
PA05	11.08.21	Substation location amended	DE	DT
PA04	13.07.21	Lift overrun metal cl added to key	DE	DT

GWP Job Reference: (451)2101  
Job Title: Rialto House, Fishergate, York  
Client: OLYMPIAN

Proposed Elevations 03, 04	
Name	2101-GWP-01-XX-DR-A-(PA)-0021
Scale	1:200@A3
Revision	PA11
Drawn/Checked	DE / DT
First Issue	18.06.21
Drawing Status	D - Planning



# Proposed Elevations – East and South

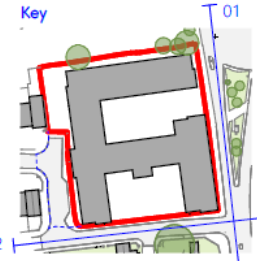


ELEVATION 01 - From Fishergate Road, Looking West



ELEVATION 02 - From Bluebridge Lane, Looking North

- Materials Key**
1. Light red multi-brick.
  2. Dark red multi-brick.
  3. Brass spandrel panel
  4. Setback brick panel reveal detail.
  5. High performance PPC Aluminium window units, double glazed. External colour to match brass spandrel panel, RAL TBC (white internally).
  6. Horizontal louvre. RAL TBC.
  7. Standing seam zinc roof. RAL TBC.
  8. Vertical metal railing. RAL TBC.
  9. Feature horizontal band, Brick Soldier Course and recessed brick band.
  10. Steel louvre external door. Colour to match windows, RAL TBC.
  11. Feature brick chimney, Brick type 1 / 2 as per elevation.
  12. Standing seam zinc to lift overrun. Colour to match roof, RAL TBC.
  13. Potential location for Public Art. Details TBC.



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0 1m 5m 10m  
Scale - 1:200 @A3

Rev	Date	Comment	Dr	Ch
PA11	22.11.21	Revised to comments.	CT	DT
PA10	05.11.21	Landscape revised to comments.	CT	DT
PA09	04.11.21	Landscape revised to comments.	CT	DT
PA08	05.10.21	Minor graphical amendments.	DE	DT
PA07	28.09.21	Revised to comments received. Details revised. Submission Amended.	DE	DT
PA06	18.08.21	Revised to comments received. Submission Amended.	DE	DT
PA05	11.08.21	Submission location amended.	DE	DT

GWP job reference (451)2101  
Rialto House, Fishergate, York

**Proposed Elevations 01, 02**

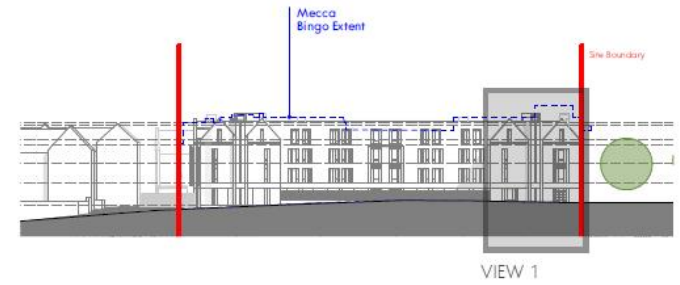
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Scale: 1:200@A3  
Revision: PA.11  
Drawn/Checked: DE / DT  
First Issue: 18.06.21  
Drawing Status: D - Planning



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# Large Scale Details and materials – Fishergate, Blue Bridge Lane corner



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 All drawings and specifications should be read in conjunction with the project brief and any other documents. Any possible conflicts should be presented to the Planning Committee.  
 All work to be carried out in accordance with current Building Regulations.  
 Contractors must verify all dimensions at the job before commencing any work or making shop drawings.  
 Where dimensions should be taken. Do not scale off drawings. Do not take digital dimensions from this drawing.  
 Any other requirements to be kept in mind in the contract.

Rev	Date	Comment	Dr	Ch
PA04	30.09.21	Revised in line with amendments to elevations	DE	DT
PA03	13.07.21	Notes revised	DE	DT
PA02	23.06.21	Revised to comments	DE	DT
PA01	18.06.21	Final issue	DE	DT

GWP Job Reference: (451)2101  
 Job Title: Rialto House, Fishergate, York  
**OLYMPIAN**

Bay / Materials Study 02	
Name	2101-GWP-01-XX-DR-A-(PA)-0041
Scale	VARIES
Revision	PA.04
Drawn/Checked	DE / DT
First Issue	18.06.21
Drawing Status	D - Planning



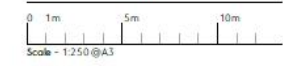
# Proposed Ground Floor



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All drawings and specifications should be read in conjunction with the project brief and any other documents. Any discrepancy shall be resolved in favour of the project brief. Any drawings to be prepared in accordance with the project brief should be submitted to the project manager for approval.

All work to be carried out in accordance with current Building Regulations. Consents may apply at all locations at the job before commencing any work or making any drawings. Where dimensions should be taken. Do not scale off drawing. Do not make slight adjustments from this drawing. Any discrepancies to be reported to the Architect.



— Site Development Boundary  
 - - - Extent of Site Title

**KEY**

Orange	Social Space - 336m <sup>2</sup>
Light Green	Plant - 175m <sup>2</sup>
Red	Vertical Circulation / Cores
Light Blue	Cluster Social Kitchens
Dark Green	Studio Room - Varies 22 No.
Yellow	DDA Studio Room - ~31.2m <sup>2</sup> 1 No.
Blue	Cluster Bedroom - 12.5m <sup>2</sup> 27 No.
	<b>Total: 50 No.</b>

Cycle Storage 168 Spaces (61.09%)  
 Future Cycle Storage 168+ 94 Spaces = 262 (95.27%)

▲ Building Entrance / Egress  
 ▼ Cycle Access via Gate  
 ▲ Maintenance access off Blue Bridge Lane

Rev	Date	Comment	Dr	Ch
IK13	22.11.21	Revised to comments	CT	RT
IK12	04.11.21	Cycle layout amended	CT	RT
IK11	05.10.21	Cycle layout amended	DE	RT
IK10	30.09.21	Cycle access via gate indicated	DE	RT
IK09	23.09.21	Revised to comments. Cycle amended. Substation location and size amended.	DE	CT
IK08	11.08.21	Substation location amended	FF	DE
IK07	30.06.21	Cycle parking note revised	DE	RT
IK06	29.06.21	Cycle parking revised	DE	RT
IK05	28.06.21	Energy centre confirmed. Smoke shaft location note accepted	DE	RT



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Job Title  
 Rialto House, Fishergate, York

Client  
 OLYMPIAN

Proposed Ground Floor Plan

Name	2101-GWP-01-00-DR-A-(PA)-0012
Scale	1:250@A3
Revision	PAJ 3
Drawn/Checked	DE/DT
First Issue	18.06.21

Drawing Status: D - Planning

Revised: 18.06.21  
 Deleted: 18.06.21  
 Deleted: 18.06.21  
 Deleted: 18.06.21



# Proposed First Floor



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We draw this plan and specifications based on the most up-to-date information available to us at the time of our site visit. We do not warrant the accuracy of the information provided in this drawing.

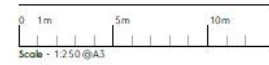
All work to be carried out in accordance with current Building Regulations.

Dimensions given in all dimensions on the job before commencing any work or building. Any dimensions shown on this drawing are for information only and should not be used as a basis for construction.

Do not scale dimensions from this drawing.

Do not scale dimensions from this drawing.

Any discrepancies noted should be reported to the Architect.



— Site Development Boundary  
 - - - Extent of Site Title

**KEY**

Vertical Circulation / Cores	
Cluster Social Kitchens	
Studio Room - Various	21 No.
DDA Studio Room - ~31.2m <sup>2</sup>	1 No.
Cluster Bedroom - 12.5m <sup>2</sup>	59 No.
<b>Total:</b>	<b>81 No.</b>

Rev	Date	Comment	Dr	Ch
IND4	22.11.21	Revised to comments	CT	RT
IND7	05.10.21	Revised to reflect changes to drawing 0013	DE	DT
IND6	30.09.21	Revised to comments received from Fire Engineer	DE	DT
IND5	24.09.21	Revised to comments. Cables amended. Substation location and size amended.	DE	DT
IND4	11.08.21	Substation location amended	PF	DE
IND3	29.08.21	Energy scheme amended. Smoke shaft and service riser swapped.	DE	DT
IND2	23.06.21	Revised to comments	DE	DT
IND1	18.06.21	Final issue	DE	DT



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GWP 300 04/2016

(45112101)

Job Title: Rialto House, Fishergate, York  
 Client:

**OLYMPIAN**

Proposed First Floor Plan

Name	2101-GWP-01-01-DR-A-(PA)-0013
Scale	1:250@A3
Revision	PA08
Drawing/Checked	DE/DT
Final Issue	18.06.21
Drawing Status	Planning

Revised: 21/11/2021. Without liability for ARCHICAD/PS/Revit, Bentley, MicroStation, etc. © 2011-2021 GWP Architecture



# Proposed Second Floor Plan



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Contractors must check all dimensions or the job before commencing any work or where dimensions should be stated.

Do not scale off drawing.

Do not take digital dimensions from this drawing.

Any discrepancies to be reported to the Architect.



— Site Development Boundary  
 - - - Extent of Site Title

**KEY**

<span style="color: red;">█</span>	Vertical Circulation / Cores	
<span style="color: lightgreen;">█</span>	Cluster Social Kitchens	
<span style="color: olive;">█</span>	Studio Room - Varies	21 No.
<span style="color: yellow;">█</span>	DDA Studio Room - ~3.1m <sup>2</sup>	1 No.
<span style="color: blue;">█</span>	Cluster Bedroom - 12.5m <sup>2</sup>	59 No.
	<b>Total:</b>	<b>81 No.</b>

Rev	Date	Comment	Dr	Ch
PA08	22.11.21	Revised to comments	CT	KT
PA07	05.10.21	Revised to reflect changes to drawings 05/12	DE	DT
PA06	30.09.21	Revised to comments received from Fire Engineer	DE	DT
PA05	24.09.21	Revised to comments. Cables amended. Substation location and site amended.	DE	DT
PA04	11.04.21	Substation location amended	FF	DE
PA03	29.04.21	Energy centre omitted. Smoke shaft and service riser swapped.	DE	DT
PA02	23.06.21	Revised to comments	DE	DT
PA01	18.06.21	Final Issue	DE	DT
Rev	Date	Comment	Dr	Ch



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Job Title: (45)112101  
 Rialto House, Fishergate, York  
 Client: OLYMPIAN

**OLYMPIAN**

Proposed Second Floor Plan

Name	2101-GWP-01-02-DR-A-(PA)-0014
Scale	1:250@A3
Revision	PA08
Drawn/Checked	DE/DT
Final Issue	18.06.21

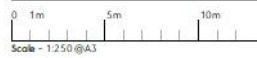
Drawing Status: D - Planning



# Proposed Third Floor Plan



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**KEY**

- Vertical Circulation / Cores
- Cluster Social Kitchens
- Studio Room - Varies 14 No.
- DDA Studio Room - ~27.7m<sup>2</sup> 1 No.
- Cluster Bedroom - Varies 48 No.

Total: 63 No.

Rev	Date	Comment	Dr	Ch
PK10	22.11.21	Revised to comments	CT	RT
PK09	05.10.21	Revised to reflect changes to drawing 03.03	DE	DT
PK08	30.09.21	Revised to comments received from Fire Engineer	DE	DT
PK07	24.09.21	Revised to comments. Substation amended. Substation location and size amended.	DE	DT
PK06	18.08.21	Revised to comments received from Fire Engineer	DE	DT
PK05	11.08.21	Substation location amended	FF	DE
PK04	29.06.21	Energy centre amended. Smoke shaft and service riser amended.	DE	DT
PK03	23.06.21	Revised to comments	DE	DT
PK02	22.06.21	Roof lights to kitchens added	DE	DT
PK01	14.06.21	Final issue	DE	DT



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GWP Job Reference: (451)2101

Job Title: Rialto House, Fishergate, York

Client: OLYMPIAN

**OLYMPIAN**

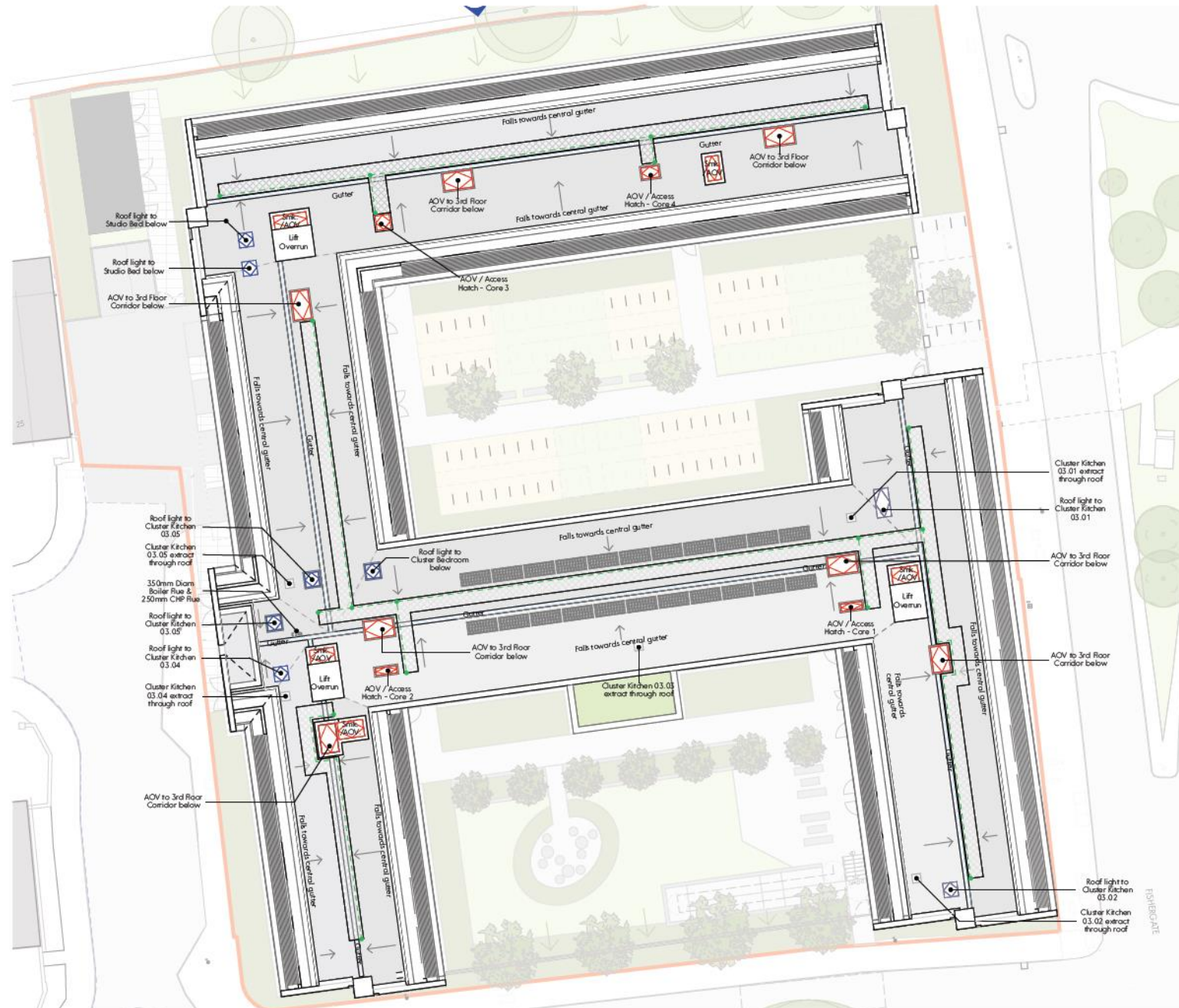
Proposed Third Floor Plan

Name:	2101-GWP-01-03-DR-A-(PA)-0015		
Scale:	1:250@A3	Revision:	PA10
Drawn/Checked:	DE/DT	Final Issue:	18.06.21
Drawing Status:	D - Planning		

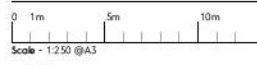
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# Proposed Roof Plan



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- Site Development Boundary
- Extent of Site Title
- Roof access walkway
- Fall Arrest System - Design and detail by specialist
- Drainage gutter
- Drainage falls - as indicated
- AOV to smokeshaft - Serving up to Second Floor
- Combined AOV/Roof Access Hatch to stair cores
- PV Panels - 22 No., 2094 x 1038mm @ 30°
- Roof Light

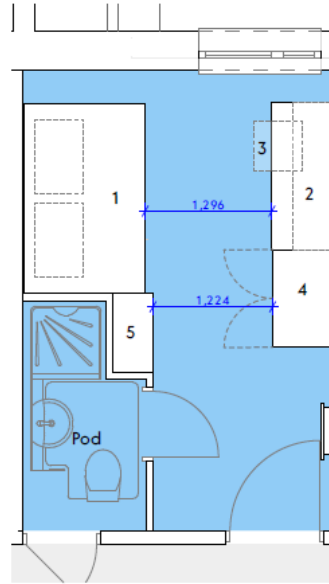
Rev	Date	Comment	Dr	Ch
RK10	22.11.21	Revised to comments	CI	DT
RK09	05.10.21	Revised to reflect changes to drawing 0012	DE	DT
RK08	24.09.21	Revised to comments. Cables amended. Substation location and size amended.	DE	DT
RK07	18.08.21	Revised to comments received from Fire Engineer	DE	DT
RK06	11.08.21	Substation location amended	FF	DE
RK05	28.06.21	Core 3 Smoke shaft relocated	DE	DT
RK04	25.06.21	PV quantity confirmed	DE	DT
RK03	23.06.21	Revised to comments	DE	DT
RK02	22.06.21	Roof lights to kitchens added	DE	DT
RK01	18.06.21	First Issue	DE	DT



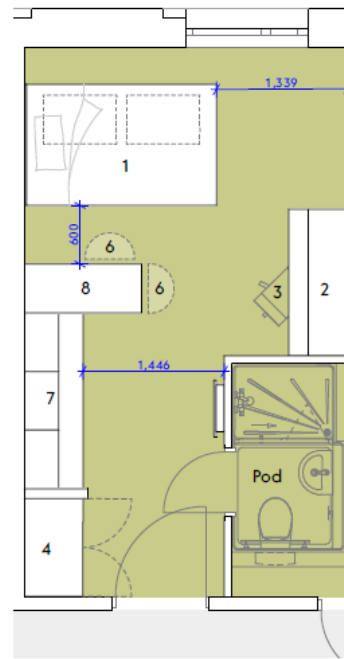
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 SPACE ANALYSIS  
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88-89, 90-91, 92-93, 94-95, 96-97, 98-99, 100-101, 102-103, 104-105, 106-107, 108-109, 110-111, 112-113, 114-115, 116-117, 118-119, 120-121, 122-123, 124-125, 126-127, 128-129, 130-131, 132-133, 134-135, 136-137, 138-139, 140-141, 142-143, 144-145, 146-147, 148-149, 150-151, 152-153, 154-155, 156-157, 158-159, 160-161, 162-163, 164-165, 166-167, 168-169, 170-171, 172-173, 174-175, 176-177, 178-179, 180-181, 182-183, 184-185, 186-187, 188-189, 190-191, 192-193, 194-195, 196-197, 198-199, 200-201, 202-203, 204-205, 206-207, 208-209, 210-211, 212-213, 214-215, 216-217, 218-219, 220-221, 222-223, 224-225, 226-227, 228-229, 230-231, 232-233, 234-235, 236-237, 238-239, 240-241, 242-243, 244-245, 246-247, 248-249, 250-251, 252-253, 254-255, 256-257, 258-259, 260-261, 262-263, 264-265, 266-267, 268-269, 270-271, 272-273, 274-275, 276-277, 278-279, 280-281, 282-283, 284-285, 286-287, 288-289, 290-291, 292-293, 294-295, 296-297, 298-299, 300-301, 302-303, 304-305, 306-307, 308-309, 310-311, 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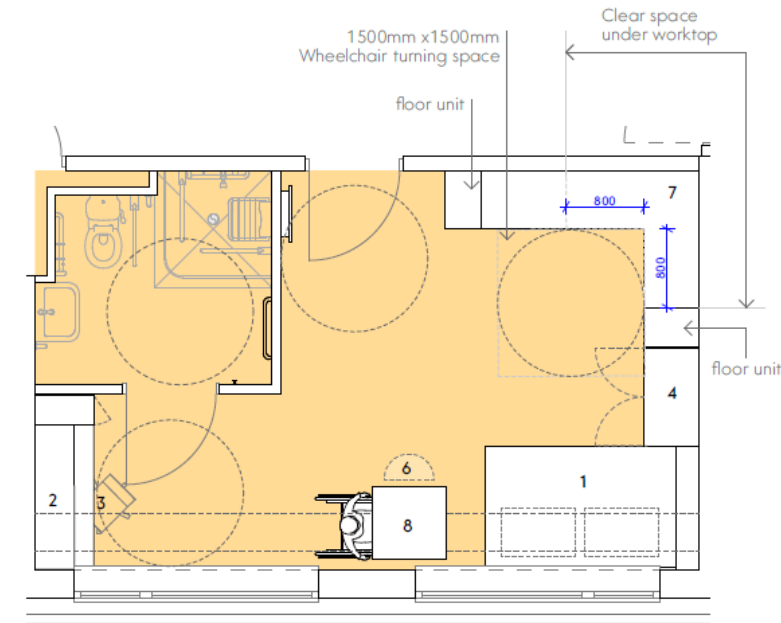
# Typical Bedroom Types



Typical Cluster Study Bedroom - 190 No.  
Unit Shown 12.5m<sup>2</sup>



Typical Studio Bedroom - 82 No.  
Unit Shown 18m<sup>2</sup>



Typical DDA Studio Bedroom - 4 No.  
Unit Shown 27.8m<sup>2</sup>

Cluster Study Bedroom		
TYPE	Area	Quantity
TYPE 01	12.5m <sup>2</sup>	160
TYPE 02	13.2m <sup>2</sup>	17
TYPE 03	17.6m <sup>2</sup>	1
TYPE 04	21.1m <sup>2</sup>	1
TYPE 05	14.8m <sup>2</sup>	11

Studio Bedroom		
TYPE	Area	Quantity
TYPE 01	18m <sup>2</sup>	67
TYPE 02	20.6m <sup>2</sup>	12
TYPE 03	29.2m <sup>2</sup>	1
TYPE 04	18.9m <sup>2</sup>	1
TYPE 06	31.0m <sup>2</sup>	1

DDA Studio Bedroom		
TYPE	Area	Quantity
TYPE 01	26.5m <sup>2</sup>	3
TYPE 02	27.8m <sup>2</sup>	1

### List of furniture:

1. double bed
2. desk
3. chair
4. wardrobe
5. shelving unit
6. potential chairs
7. kitchenette
8. table



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Any discrepancies to be reported to the Architect.

Scale - 1:50 @A3

Rev	Date	Comment	Dr	Ch
PA05	29.09.21	Room quantum's updated inline with revised plans	DE	DI
PA04	12.09.21	General update	CI	CI
PA03	30.04.21	Scale note revised	DE	DI
PA02	23.04.21	Revised to comments	DE	DI
PA01	18.04.21	First issue	DE	DI

GWP Job Reference: (451)2101  
Job Title: Rialto House, Fishergate, York

OLYMPIAN

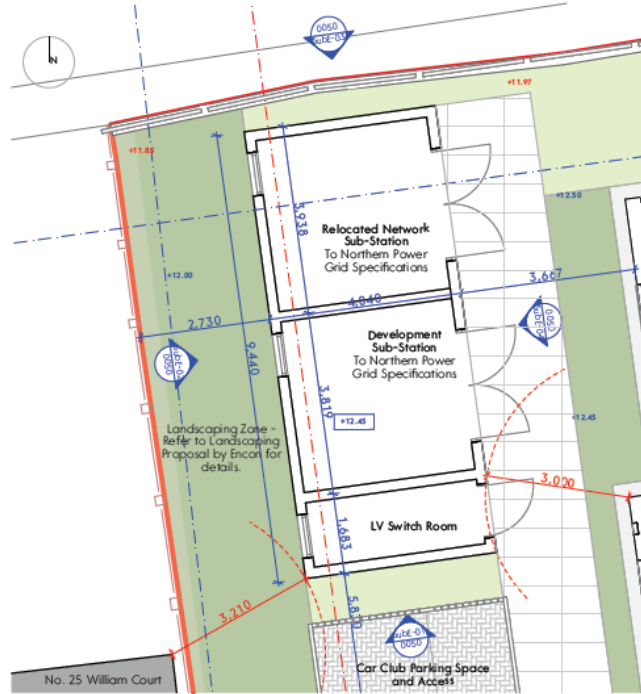
Typical Bedroom Types	
Name	2101-GWP-01-XX-DR-A-(PA)-0060
Scale	1:50@A3
Revision	PA05
Drawn/Checked	DE / DI
First Issue	18.06.21
Drawing Status	D - Planning



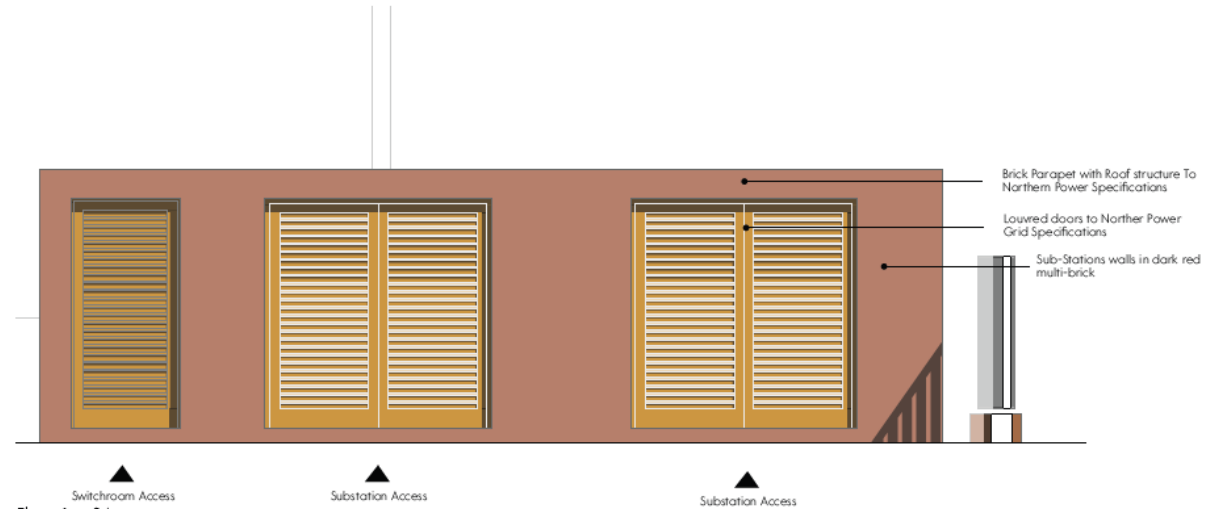
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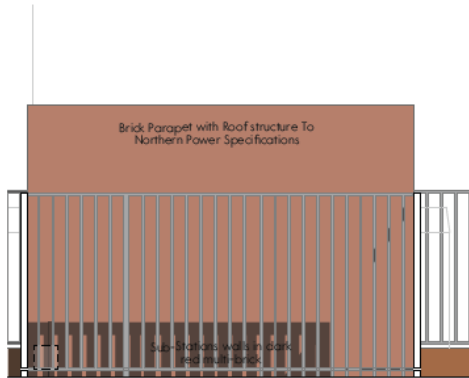
# Proposed Sub Station



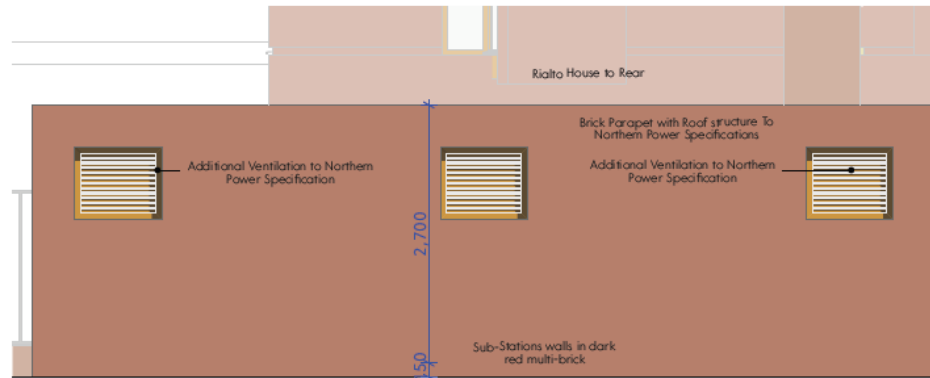
Sub-Station - Ground Floor Plan



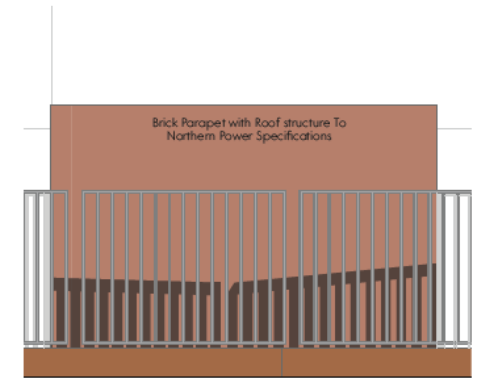
Elevation 04



Elevation 01



Elevation 02



Elevation 03



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Scale - 1:50 @A3

City of York Council Planning Committee Meeting - 2nd December 2021

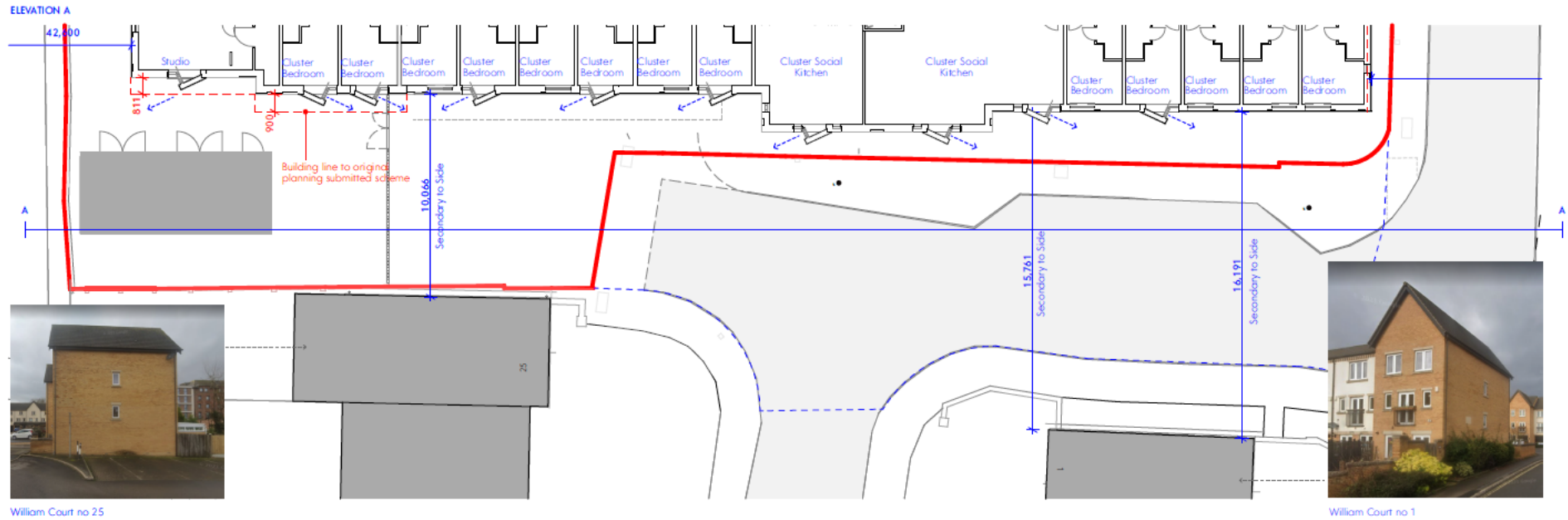
Rev	Date	Comment	Dr	Ch
PA04	05.10.21	Minor Graphical Amendments	DE	KT
PA05	29.09.21	Updated to reflect design development	IF	DE
PA04	11.08.21	Substation location amended	IF	DE
PA03	30.04.21	Scale notes revised	DE	KT
PA02	23.04.21	Revised to comments	DE	DT
PA01	18.04.21	First issue	DE	DT

GWP Job Reference: (45)12101  
Rialto House, Fishergate, York  
Client: OLYMPIAN

Proposed Sub Station	
Name	2101-GWP-01-00-DR-A-(PA)-0050
Scale	1:50@A3
Drawn/Checked	DE / DT
Drawing Date	D - Planning
Revision	PA.06
First Issue	18.06.21



# William Court – Overlooking Study



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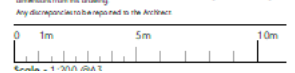
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Any discrepancies to be reported to the Architect.

- KEY:**
- Opaque
  - Transparent
  - Translucent windows set back behind louvers
  - Spandrel panel
  - Lowered service doors
  - Splayed Windows
  - Views from Splayed Windows



City of York Council Planning Committee Meeting - 2nd December 2021

Rev	Date	Comment	Dr	Ch
PA01	29.09.21	Updated to reflect plan on comment	IF	DE

GWP Job Reference (451)2101  
 Job Title Rialto House, Fishergate, York  
 Client OLYMPIAN

William Court - Overlooking	
Name	2101-GWP-01-XX-DR-A-(PA)-0062
Scale	1:200@A3
Revision	PA01
Drawn/Checked	CT / DT
First Issue	31.08.21
Drawing Status	D - Planning



# Existing and Proposed Render (1)

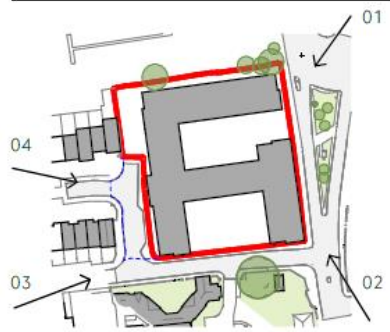


Existing View



Proposed View 01 Looking South From Fishergate Road

### Key



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GWP Job Reference (451) 2101		Job Title	
		Rialto House, Fishergate, York	
Client		OLYMPIAN	
Rev	Date	Comment	Dr
PA04	05.10.21	Formal issue	DE
PA03	24.09.21	Issued for comments - Draft issue	DE
PA02	23.05.21	Revised to comments	DE
PA01	18.06.21	First issue	DE

Render 1	
Name	2101-GWP-01-XX-VS-A-(PA)-0045
Scale	N/A
Revision	PA/04
Drawn/Checked	DE / DT
First Issue	18.06.21
Drawing Status	D - Planning







# Existing and Proposed Render (3)

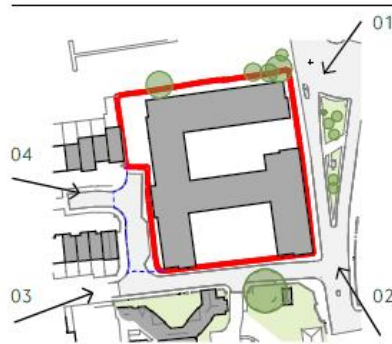


Existing View



Proposed View 03 Looking East Down Blue Bridge Lane

### Key



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Rev	Date	Comment	Dr	Ch
PA04	05.10.21	Formal issue	DE	DT
PA03	28.09.21	Issued for comments - Draft issue	DE	DT
PA02	23.04.21	Revised to comments	DE	DT
PA01	18.04.21	First issue	DE	DT

GWP Job Reference: (451)2101  
 Job Title: Rialto House, Fishergate, York  
 Client: OLYMPIAN

Render 3			
Name: 2101-GWP-01-XX-VS-A-(PA)-0047			
Scale:	N/A	Revision:	PA04
Drawn/Checked:	DE / DT	First Issue:	18.04.21
Drawing Status:	D - Planning		

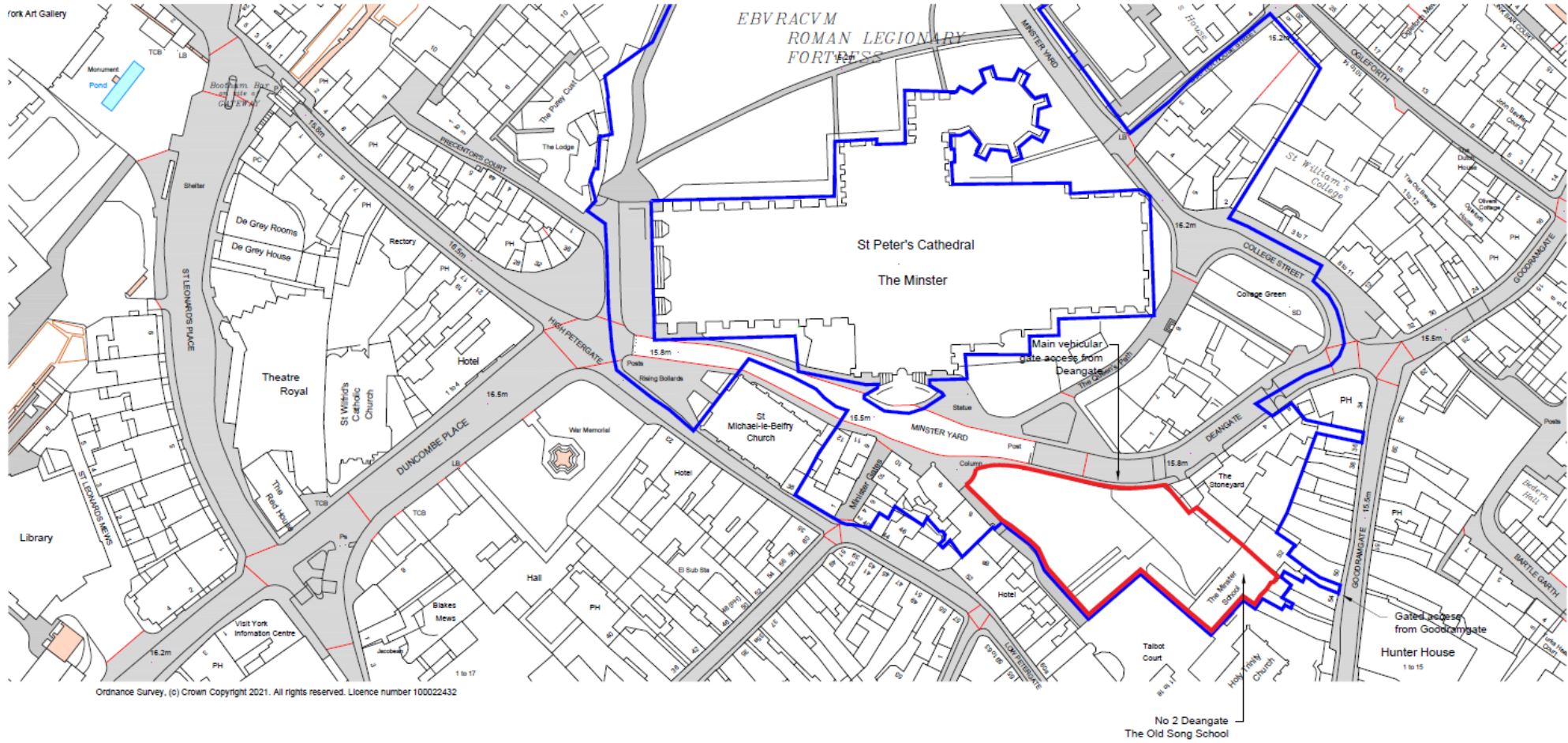
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# 21/01535/FUL and 21/01536/LBC - The Minster School, Deangate, York

Change of use of former school to York Minster refectory (use class E) to include new restaurant, kitchen and plant, creation of level access, installation of platform lift, new service doors, re-roofing, integration of solar PV panels and external repairs; and creation of a new Public Open Space, including external landscape improvements, gazebo, parasol bases, ice cream hut, railing relocation, cycle parking and cycle service hub.

# Site Location Plan



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Nr.	Date	Drn.	Chgd.	Description
01	15.06.21	ALS	ajs	OS Licence Updated, blue line boundary amended

**Key Plan**

- Old Song School (The York Minster Refectory)
- Ownership of Land



**Stage 2 - For Planning** Not for construction

CLIENT	York Minster	SCALE	1:1250 (A3)	SHEET	11 OF 21
PROJECT	The York Minster Refectory	DRAWN	NY	CHECKED	ajs
DRAWING TITLE	Site Location Plan	JOB NUMBER	122-3 (EX)000	DRAWING NO.	REVISION
					2.01

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 TEL: 0207 468 341



West Elevation and Site  
Frontage – View from  
Deangate



West Elevation –  
View from Deangate  
(2)



View toward North  
Flank and Location of  
Lift

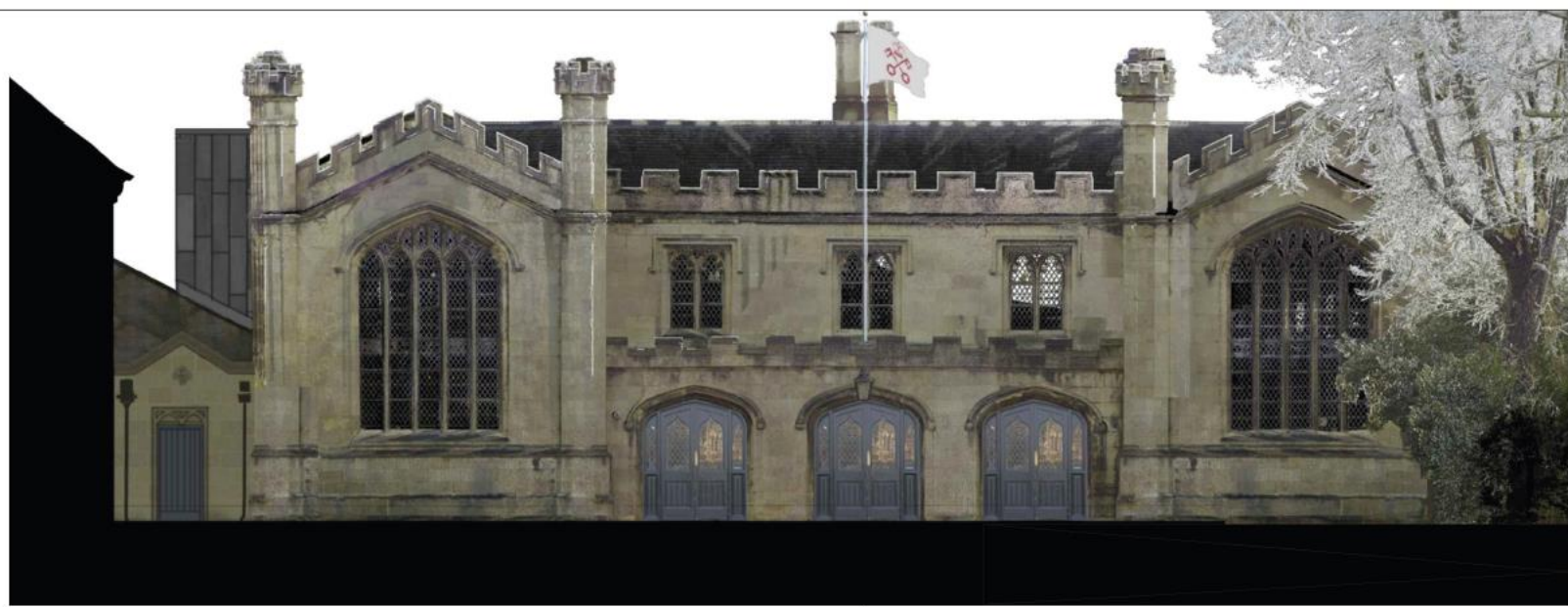


View toward York Minster





# Proposed West Elevation



### Materials Key:

- 01 Stone - Ashlar, Limestone - existing
- 02 Slate - roof renewed refer to Drwg (GA) 200 for notes
- 03 PV Slates - refer to Drwg (GA) 200 for notes
- 04 Terne Coated (lead coloured) stainless steel clad lift shaft
- 05 Painted timber doors and with leaded glazing, existing adapted
- 06 Chimneys - unused - existing
- 07 New painted timber boarded door in existing, adapted stone surround
- 08 Discrete LED downlights on slim stainless steel projecting arms
- 09 New flag pole on new brackets, replacing existing broken flag pole brackets
- 10 Existing windows, glazing, lead comes and opening lights all refurbished
- 11 Existing lantern and bracket refurbished / replaced with new

West Elevation - Facing York Minster



Rev.	Date	Drn.	Chkd.	Description
2.01	11.05.21	AJS	ajs	Photomontage updated
2.02	17.05.21	AJS / NY	ajs	Side door amended, photomontage updated
2.03	16.11.21	AJS	ajs	Note 2 and 3 amended - PV slates in lieu of PV panels, West Elevation and visual amended to suit.

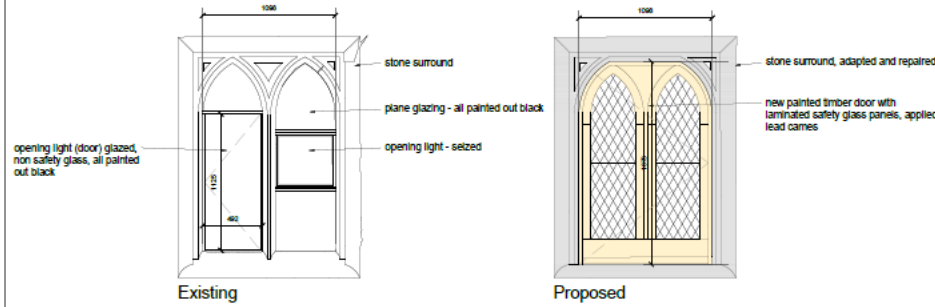


**General notes:**  
 Never scale dimensions from this drawing. Use written dimensions only. Report any discrepancies. Ask if in doubt. Always use latest revision.  
 Note that this drawing is based on dimensional surveys by others, therefore the verification of dimensional information is particularly important.  
 Read in conjunction with other information from CAI, and other consultants.  
**Notes:**

Stage 2 - For Planning		Not for construction	
CLIENT	York Minster	SCALE	1:50 (A1) / 1:100 (A3)
PROJECT	The York Minster Refectory	DRAWN	AJS
DRAWING TITLE	West Elevation (Main)	JOB NUMBER	122-3
As Proposed		DRAWING NO.	(GA)400
		REVISION	2.03



# Proposed East Elevation



05 Existing Fire Escape Window Adaptation, 1:20

## Materials Key:

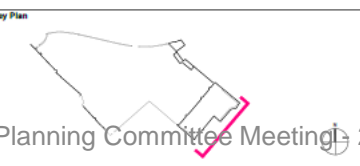
- 01 Stone - Ashlar, Limestone - existing
- 02 Slate - roof renewed, refer to Drwg (GA) 200 for notes
- 03 PV Slates - refer to Drwg (GA) 200 for notes
- 04 Terre Coated (lead coloured) stainless steel clad lift shaft
- 05 Existing Fire Exit Window - adapted to Fire Exit Door - refer to detail
- 06 Chimneys - unused - existing
- 07 New Supply and extract terminals flush with slates, colour to match slates
- 08 PPC Aluminium louvre, colour as cladding
- 09 Galvanised ladder with mansafe channel and pop up safety post
- 10 Fall restraint post
- 11 Kitchen extract, filters and attenuation
- 12 Existing windows, glazing, lead comes and opening lights all refurbished
- 13 Stone Slate - roof renewed on like for like basis with new build up
- 14 New bulkhead lights - in existing locations
- 15 New cast aluminium rainwater goods replacing defective existing cast iron and plastic rainwater goods
- 16 Galvanised Fire Escape Stair - existing retained
- 17 New emergency floodlight replacing existing in existing location
- 18 PPC aluminium rwdp and hopper, colour to match cladding
- 19 Screen - 1.8m high



East Elevation - Facing Holy Trinity Church



Rev.	Date	Drn.	Chkd.	Description
1.01	17.06.21	AJS	ajs	Notes added
2.02	16.11.21	AJS	ajs	Note 2 and 3 amended - PV slate in lieu of PV panels, East Elevation amended to suit.DRWG PREFIX CORRECTED



**General notes:**  
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 Read in conjunction with other information from CAL and other consultants.  
**Notes:**

Stage 2 - For Planning		Not for construction	
CLIENT	York Minister	SCALE	1:50 + 1:20 (A3) / 1:100 (A3)
PROJECT	The York Minister Refectory	DRAWN	AS
DRAWING TITLE	East Elevation (Church Yard) As Proposed	JOB NUMBER	122-3 (GA)401
		REVISION	2.02

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 TEL: 01223 472 237  
 WWW.CAROE.COM

# Proposed North and South Elevations

## Materials Key:

- 01 Stone - Ashlar, Limestone - existing
- 02 Slate - roof renewed, refer to Drwg (GA) 200 for notes
- 03 Existing Opening Roof Lights - refurbished / replaced in existing openings
- 04 Terme Coated (lead coloured) stainless steel clad lift shaft
- 05 New lead 'dormer' for kitchen extract routing on 'blind side' of existing roof
- 06 Discrete LED downlights on slim stainless steel projecting arms
- 07 New extract terminal in existing locations
- 08 Existing SVP
- 09 Galvanised ladder with mansafe channel and pop up safety post
- 10 Fall restraint post
- 11 Kitchen extract, filters and attenuation
- 12 Existing windows, glazing, lead cames and opening lights (to be sealed) all refurbished - \* Opaque privacy film to inside face - extent as shown
- 13 Stone Slate - roof renewed on like for like basis
- 14 Existing lead RWDP and hopper - repaired
- 15 New cast aluminium rainwater goods replacing defective existing cast iron and plastic rainwater goods
- 16 Galvanised Fire Escape Stair - existing retained
- 17 New emergency floodlight replacing existing in existing location
- 18 New door in place of existing window
- 19 Solid acoustic barrier - 1.8m high
- 20 Internal floor level raised locally
- 21 External levels raised - refer to Landscape proposals
- 22 New slot drain to perimeter at junction with building
- 23 Existing window - currently concealed by masonry - opened up and adapted
- 24 Existing wall mounted light replaced with new equivalent
- 25 Existing window and section of wall removed for lift
- 26 Existing plasterboard ceiling removed and replaced with new



South Elevation - Facing Gardens



North Elevation - Facing Stone Yard



Rev.	Date	Des.	Chkd.	Description
1.01	15.06.21	AS	ajp	Roof plant amended
2.02	16.11.21	AS	ajp	Note 2 amended



General notes:  
 Never scale dimensions from this drawing. Use written dimensions only. Report any discrepancies. Ask if in doubt. Always use latest revision.  
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 Read in conjunction with other information from CAI, and other consultants.  
 Notes:

Stage 2 - For Planning		Not for construction	
CLIENT	York Minister	SCALE	1:50 (A1) / 1:100 (A3)
PROJECT	The York Minister Refectory	DRAWN	13.06.21
DRAWING TITLE	North Elevation / Section (Facing Stoneyard)	CHECKED	
As Proposed	Roof plant amended	DATE	
		JOB NUMBER	122-3 (GA)402
		DRAWING NO.	2.02
		<small>           CAROE ARCHITECTURE LTD            OFFICE 1, Unit 8, 25-26 Moor St            CAMBRIDGE CB2 3RQ            TEL: 01223 477783            WWW.CAROE.COM         </small>	

# Proposed Sections



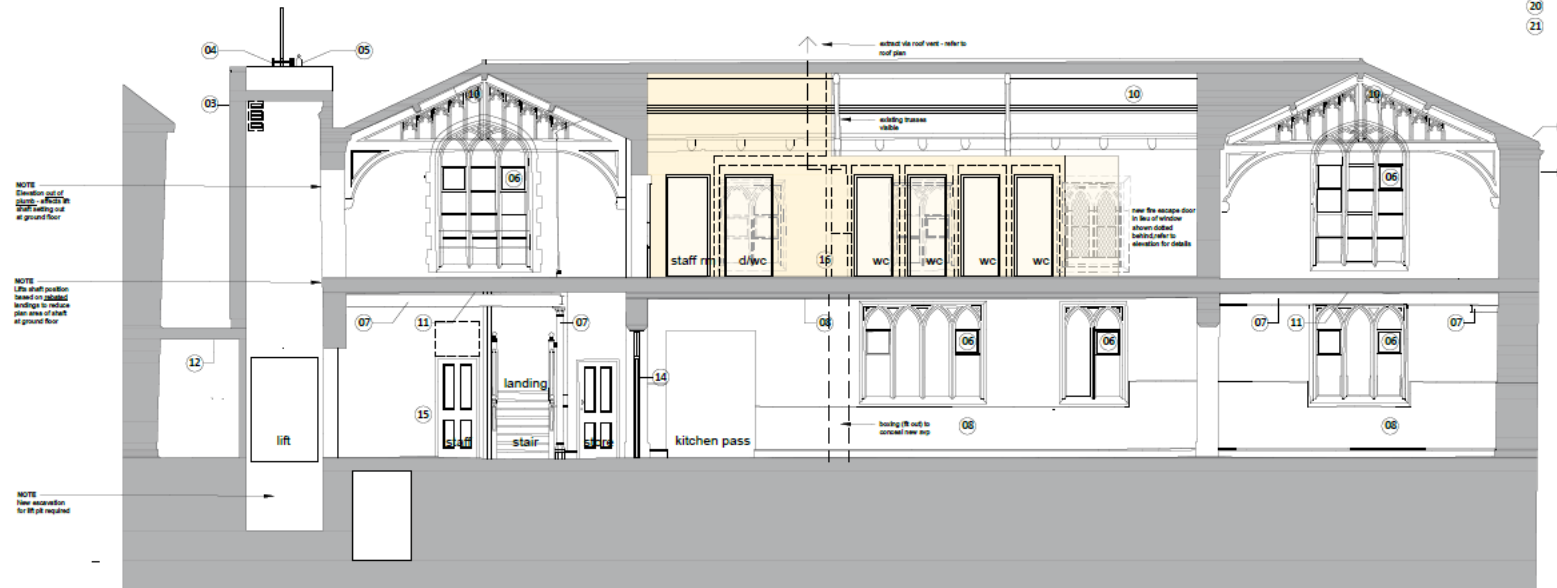
Section B-B, Proposed



17 Entrance Screen Door - Modified for Level Access, approx 1: 20 @ A1

## Materials Key:

- 01 Roof renewed - refer to Draw (GA) 200 for notes
- 02 Stone - Ashlar, Limestone - existing
- 03 Terme Coated (lead coloured) stainless steel clad lift shaft
- 04 Galvanized ladder with mansafe channel and pop up safety post
- 05 Fall restraint post
- 06 Existing windows, glazing, lead cames refurbished - safety film to be applied to in lieu of existing glass replacement where necessary
- 07 Existing exposed steelwork - to receive intumescent paint fire protection
- 08 Existing timber wainscot paneling, dado and skirtings
- 09 Existing plasterboard ceiling tiles removed and replaced with 2 layers fire rated plasterboard
- 10 Existing lath and plaster skirtings
- 11 Allowance for overboarding ceiling with fire rated plasterboard
- 12 Existing plasterboard ceiling removed and replaced with new
- 13 Existing suspended ceiling tiles removed, lath and plaster ceiling reinstated
- 14 New FR rated glazed door and screen - details tbc in Fit Out
- 15 Existing opening (no door) with existing glazed fan light - fan light removed and infilled, new FR door
- 16 New staff and customer facilities - timber stud and plasterboard construction, new timber doors - details tbc in Fit Out
- 17 Existing glazed doors and screens - retained and adapted to suit new levels providing level access
- 18 Internal stone flags raised and reinstated at higher level to provide level access. Some new paving required to replace worn and broken, including at worn thresholds, to minimise trip hazards.
- 19 External levels raised - refer to Landscape proposals
- 20 New slot drain to perimeter at junction with building
- 21 New flag pole and associated brackets



Section A-A, Proposed

General Note - Roof repairs:  
 Note Removed  
 Refer to (GA) 200 - Roof Plan as Proposed



Rev.	Date	Des.	CHKD.	Description
2.02	16.06.21	AJS	ajs	Notes amended
2.02	16.11.21	AJS	ajs	Note 1 amended, General Roof Note removed

Key Plan

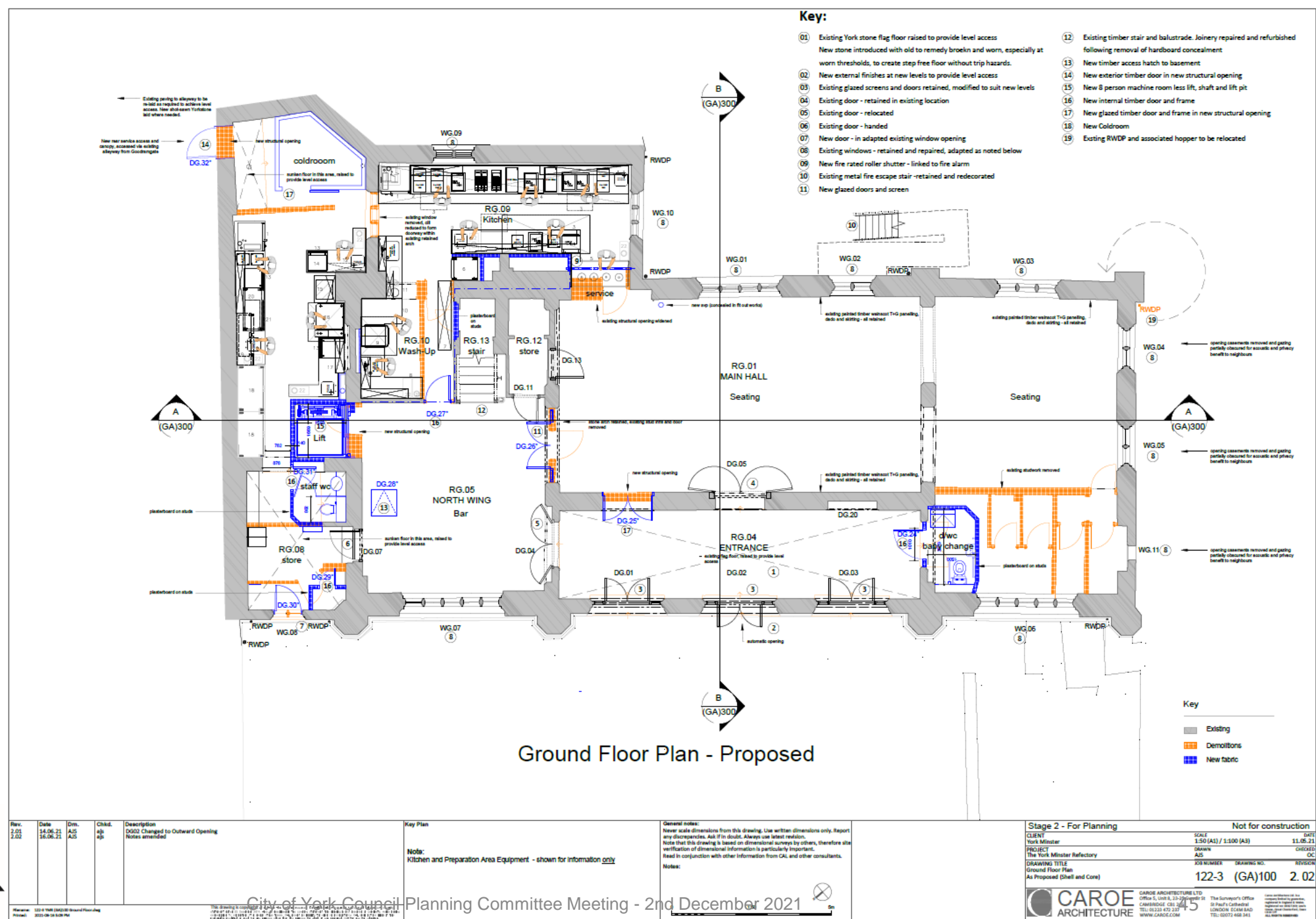
General notes:  
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 Note that this drawing is based on dimensional surveys by others, therefore site verification of dimensional information is particularly important.  
 Read in conjunction with other information from CAL and other consultants.  
 Notes:

Stage 2 - For Planning	Not for construction
CLIENT York Minister	SCALE 1: 50 @ A3, 1:100 @ A3
PROJECT THE YORK MINISTER REFECTORY	CHECKED OC
DRAWING TITLE Section A-A and Section B-B, Proposed, Entrance Door Detail	JOB NUMBER 122-3 (GA) 300
	REVISION 2.02

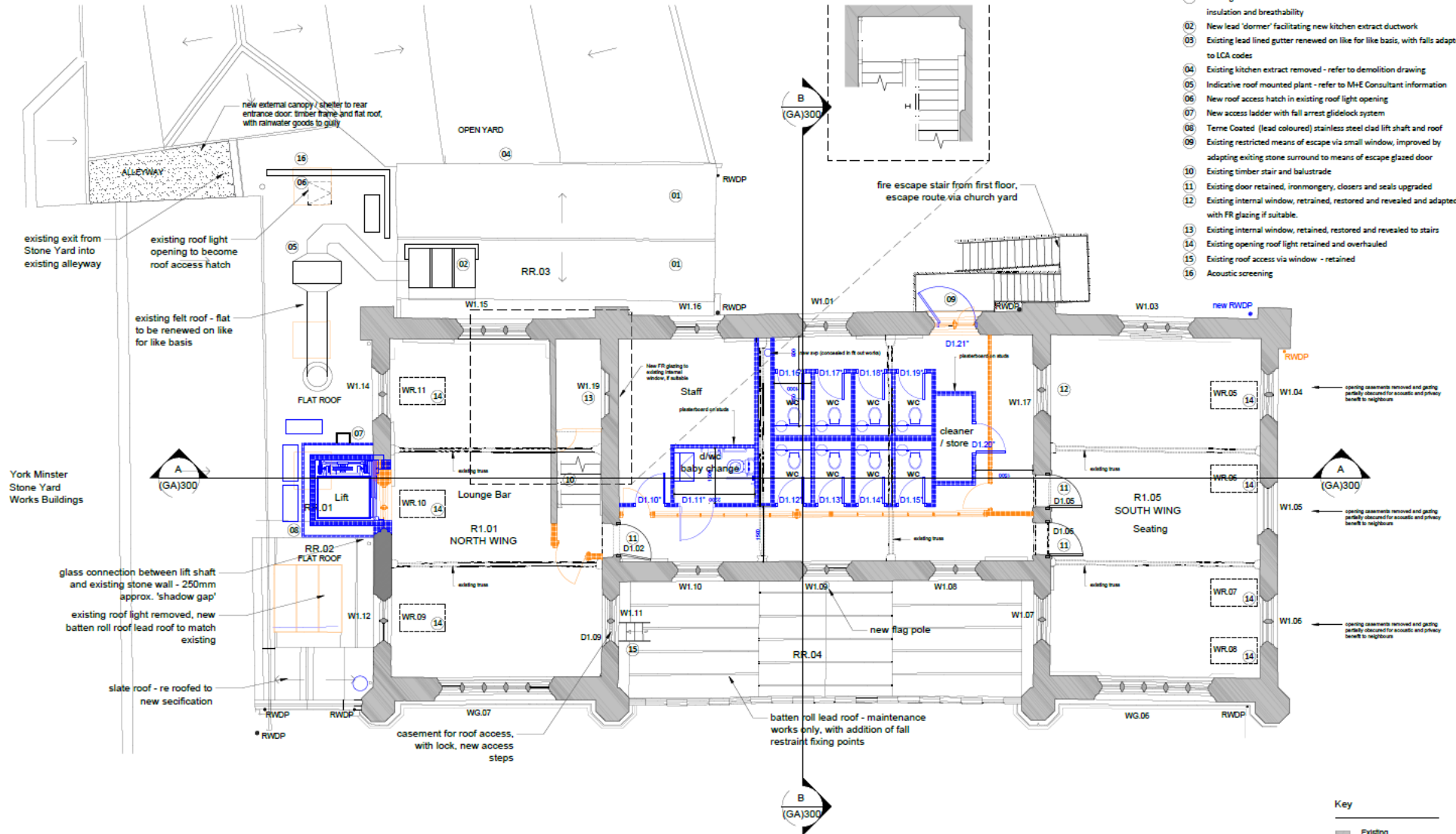
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The Surveyor's Office  
 29 Park Square  
 LONDON EC4M 6AD  
 TEL: 02077 468 843

# Proposed Ground Floor Plan



# Proposed First Floor Plan



- Key:**
- 01 Existing stone slate roof renewed on like for like basis with enhanced insulation and breathability
  - 02 New lead 'dormer' facilitating new kitchen extract ductwork
  - 03 Existing lead lined gutter renewed on like for like basis, with falls adapted to LCA codes
  - 04 Existing kitchen extract removed - refer to demolition drawing
  - 05 Indicative roof mounted plant - refer to M+E Consultant information
  - 06 New roof access hatch in existing roof light opening
  - 07 New access ladder with fall arrest glidelock system
  - 08 Terne Coated (lead coloured) stainless steel clad lift shaft and roof
  - 09 Existing restricted means of escape via small window, improved by adapting existing stone surround to means of escape glazed door
  - 10 Existing timber stair and balustrade
  - 11 Existing door retained, ironmongery, closers and seals upgraded
  - 12 Existing internal window, retained, restored and revealed and adapted with FR glazing if suitable.
  - 13 Existing internal window, retained, restored and revealed to stairs
  - 14 Existing opening roof light retained and overhauled
  - 15 Existing roof access via window - retained
  - 16 Acoustic screening

First Floor Plan - Proposed

- Key**
- Existing
  - Demolitions
  - New fabric



Rev.	Date	Dim.	Chd.	Description	Key Plan
2.01	15.06.21	AS	ajp	Roof plant revised, noted amended	

**General notes:**  
 Never scale dimensions from this drawing. Use written dimensions only. Report any discrepancies. Ask if in doubt. Always use latest revision.  
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 Read in conjunction with other information from CAI and other consultants.  
 Notes:

**Stage 2 - For Planning** Not for construction

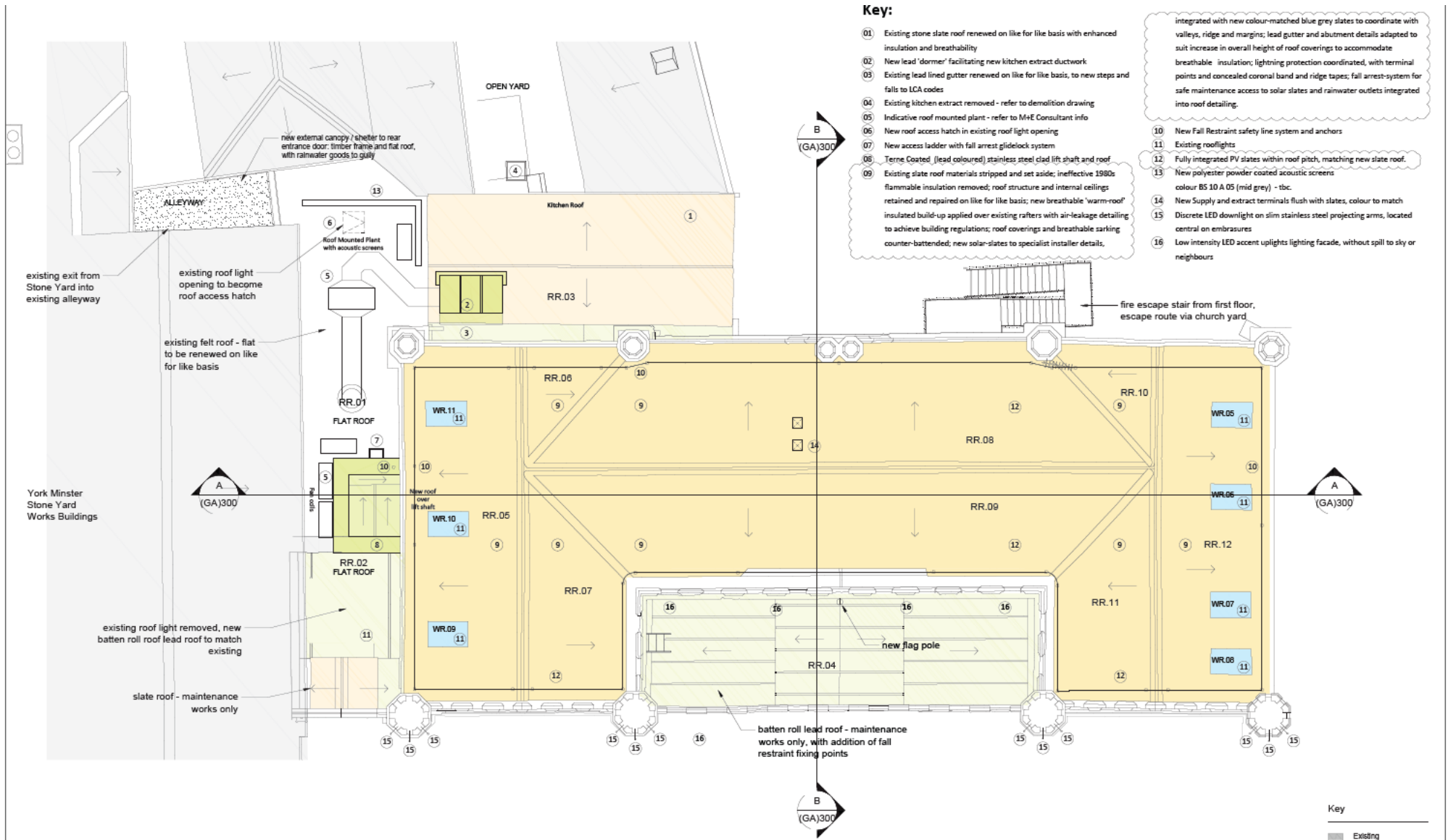
CLIENT: York Minster  
 PROJECT: The York Minster Refectory  
 DRAWING TITLE: First Floor Plan As Proposed

SCALE: 1:50 (A3) / 1:100 (A3)  
 DATE: 11.05.21  
 DRAWN: AS  
 CHECKED: OC

JOB NUMBER: 122-3 (GA)101  
 DRAWING NO.: 2.01

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# Proposed Roof Plan



- Key:**
- 01 Existing stone slate roof renewed on like for like basis with enhanced insulation and breathability
  - 02 New lead 'dormer' facilitating new kitchen extract ductwork
  - 03 Existing lead lined gutter renewed on like for like basis, to new steps and falls to LCA codes
  - 04 Existing kitchen extract removed - refer to demolition drawing
  - 05 Indicative roof mounted plant - refer to M+E Consultant info
  - 06 New roof access hatch in existing roof light opening
  - 07 New access ladder with fall arrest glidlock system
  - 08 Terne Coated (lead coloured) stainless steel clad lift shaft and roof
  - 09 Existing slate roof materials stripped and set aside; ineffective 1980s flammable insulation removed; roof structure and internal ceilings retained and repaired on like for like basis; new breathable 'warm-roof' insulated build-up applied over existing rafters with air-leakage detailing to achieve building regulations; roof coverings and breathable sarking counter-battened; new solar-slates to specialist installer details.
  - 10 New Fall Restraint safety line system and anchors
  - 11 Existing rooflights
  - 12 Fully integrated PV slates within roof pitch, matching new slate roof.
  - 13 New polyester powder coated acoustic screens colour BS 10 A 05 (mid grey) - tbc.
  - 14 New Supply and extract terminals flush with slates, colour to match
  - 15 Discrete LED downlight on slim stainless steel projecting arms, located central on embasures
  - 16 Low intensity LED accent uplights lighting facade, without spill to sky or neighbours
- integrated with new colour-matched blue grey slates to coordinate with valleys, ridge and margins; lead gutter and abutment details adapted to suit increase in overall height of roof coverings to accommodate breathable insulation; lightning protection coordinated, with terminal points and concealed coronal band and ridge tapes; fall arrest-system for safe maintenance access to solar slates and rainwater outlets integrated into roof detailing.

Roof Plan - Proposed



Rev.	Date	Drn.	Chkd.	Description
2.02	15.11.21	AIS	ais	Roof plan amended, notes added
2.01	17.09.21	AIS	ais	Type of PV system changed to fully integrated PV slates. Notes 9 and 12 amended.

Key Plan
<p>General notes:</p> <p>Never scale dimensions from this drawing. Use written dimensions only. Report any discrepancies. Ask if in doubt. Always use latest revision.</p> <p>Note that this drawing is based on dimensional surveys by others, therefore site verification of dimensional information is particularly important.</p> <p>Read in conjunction with other information from CAI and other consultants.</p> <p>Notes:</p>

Stage 2 - For Planning	Not for construction
<p>CLIENT: York Minster</p> <p>PROJECT: The York Minster Refectory</p> <p>DRAWING TITLE: Roof Plan As Proposed</p>	<p>SCALE: 1:50 (A1) / 1:100 (A3)</p> <p>DRAWN: AIS</p> <p>CHECKED: AIS</p> <p>ISS NUMBER: 122-3 (GA)200</p> <p>REVISION: 2.02</p>

City of York Council Planning Committee Meeting - 2nd December 2021



# Proposed Landscape Plan





# Proposed Landscape Sections



0002 Section/elevation: axial route looking towards Stoneyard  
01 1:100

- Notes**
1. All dimensions in mm, unless otherwise stated.
  2. Scaling from drawing if printed incorrectly may lead to errors.
  3. All information outside red line boundary shown for contextual purpose only.
  4. This drawing is to be read in conjunction with the following re-form landscape architecture documentation:  
    - OS76-RFM-XX-00-DR-L-0001: General Arrangement Plan
  5. AND all relevant documentation from the design team.
  6. Levels information on this drawing illustrates the design intent. The contractor is to check and verify all levels and dimensions against site survey information.
  7. Any discrepancies in the design information are to be brought to the attention of re-form landscape architecture, in writing, prior to commencement of construction works.



0002 Section/elevation: axial route looking towards High Petergate  
02 1:100



0002 Section/elevation: public green space looking towards the Refectory  
03 1:100



27/09/22	Revision of plan to R02/03 amended PL	PL	ED	PL02
15/09/22	Final revision	PL	ED	PL01
Date:	Description of revision	Drawn by	Checked by	Approved by

**re-form**  
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Project  
THE REFECTORY, YORK MINSTER  
RF20-876

Client  
YORK MINSTER

Document title  
ILLUSTRATIVE LANDSCAPE SECTIONS

Paper size  
A1

Status  
FOR REVIEW AND COMMENT

Drawn by  
0876-RFM-XX-00-DR-L-0002

© re-form landscape architecture

Scale  
1:200

53

Revision  
PL02



Section location plan 1:500



0002 Section/elevation: external dining space looking towards the Refectory  
04 1:100

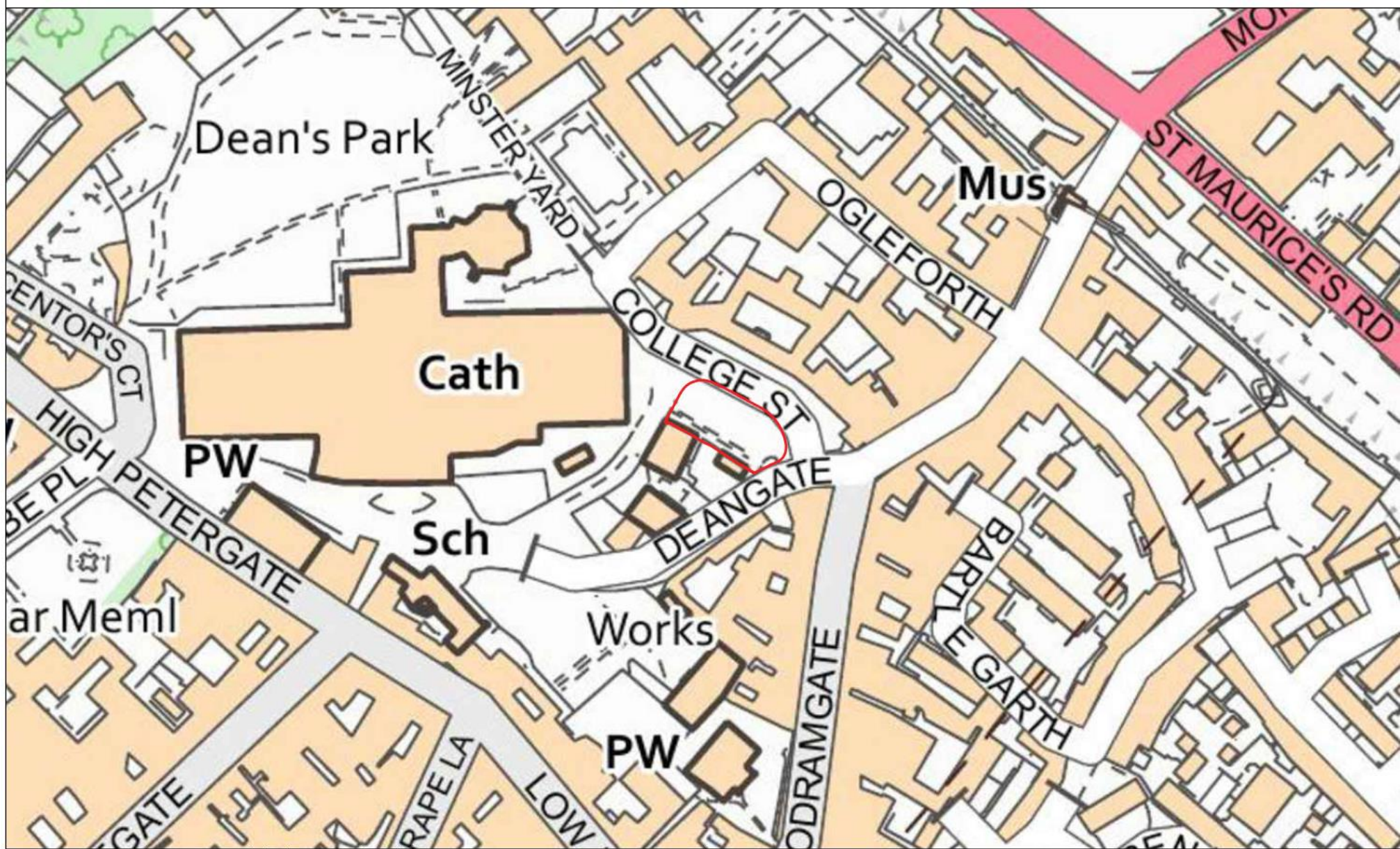
Example of PV Slates



# 21/01980/FUL – College Green, Minster Yard, York

Landscaping works including provision of seating and stepping stones

# Site Location Plan



Project: College Green, York		Client: York BID & Bloom	
Title: Location Plan		Drawn: L/W	Apr'18
Drawing Number: PWP 449 001	Revision: 00	Drawing Scale: 1:1250 @ A3	

00	180201	FOR PLANNING
Rev	Date	Detail

L/W	L/W	SH
Made	Check	Appr

- Notes:**
1. Not for construction all dimensions to be confirmed on site
  2. Based OS\_VectorMap\_Local\_Raster\_696210\_904677\_1\_10000
  3. Refer to architects/engineers drawing for hard landscape, boundary treatments, site levels, drainage, retaining walls.
  4. Build upsofings to engineers specification.
  5. Contractor to be fully satisfied with locations of services prior to excavations.
  6. All existing trees to be protected to BS 5837.



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 info@pwpdesign.co.uk



College Green – View  
North West



College Green/St  
Williams College – View  
North East



Existing Footpath – View  
Toward  
Goodramgate/Deangate



# Proposed Illustrative Landscaping

